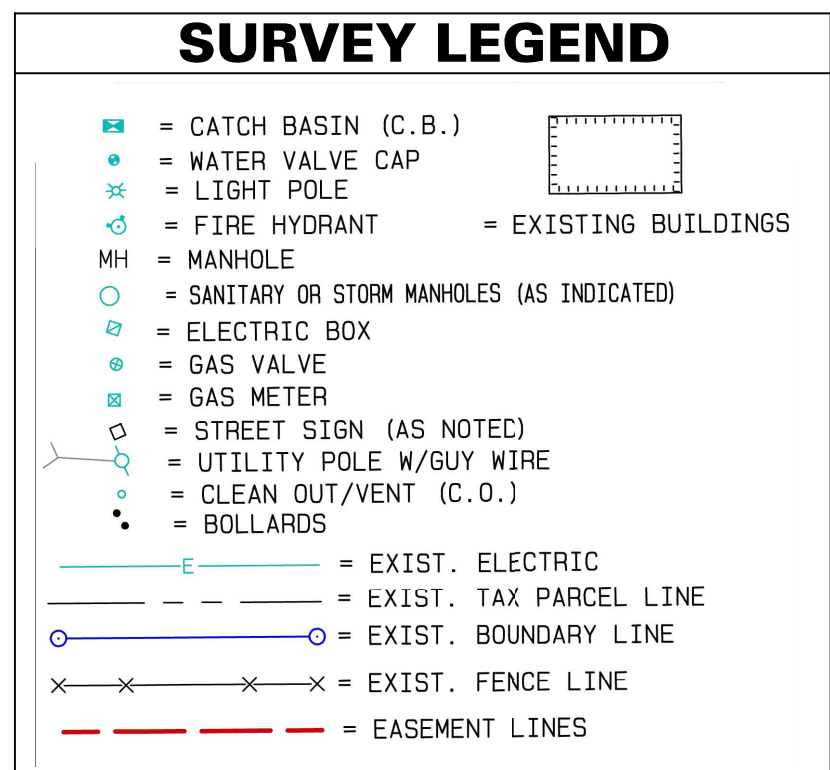
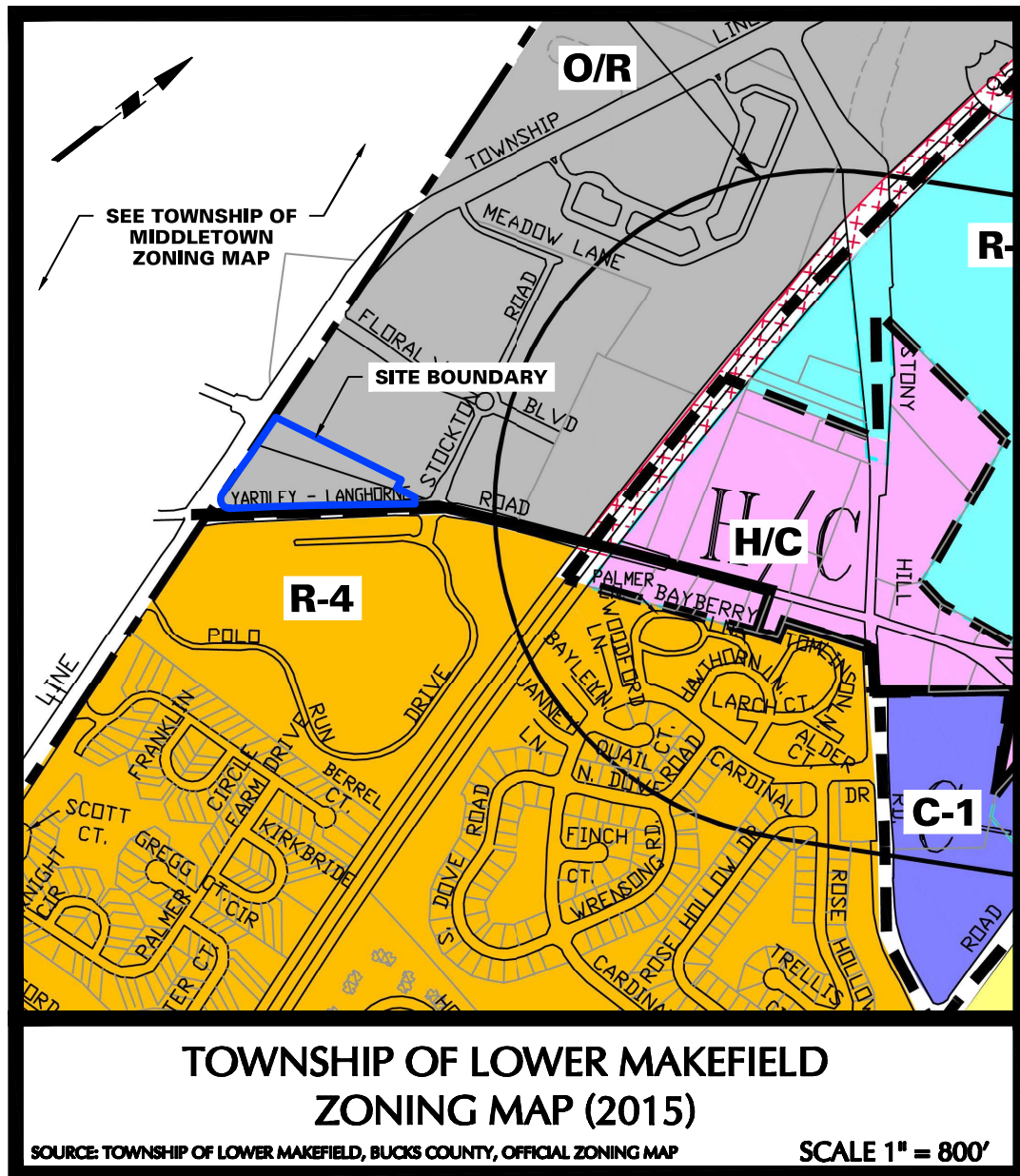
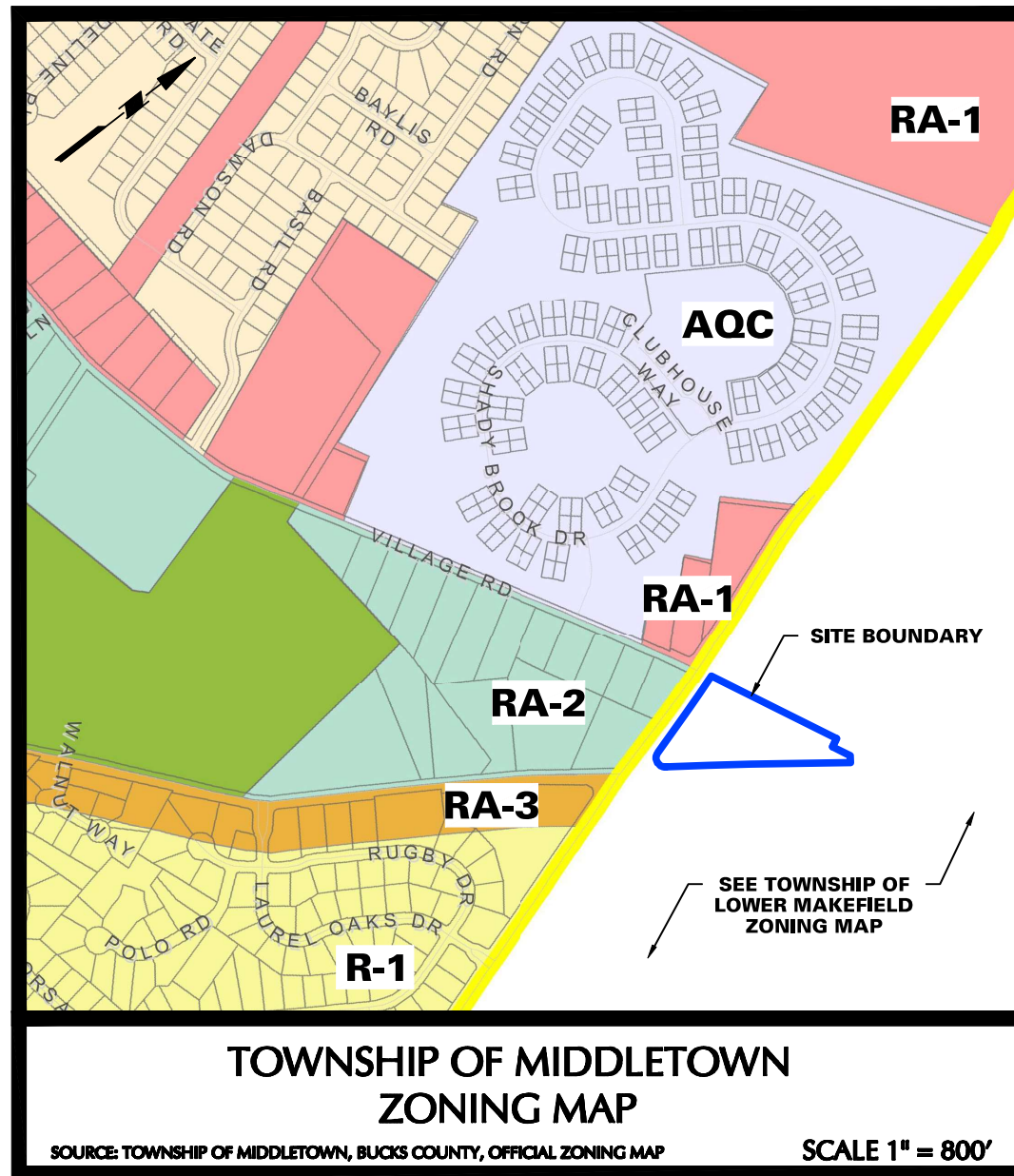
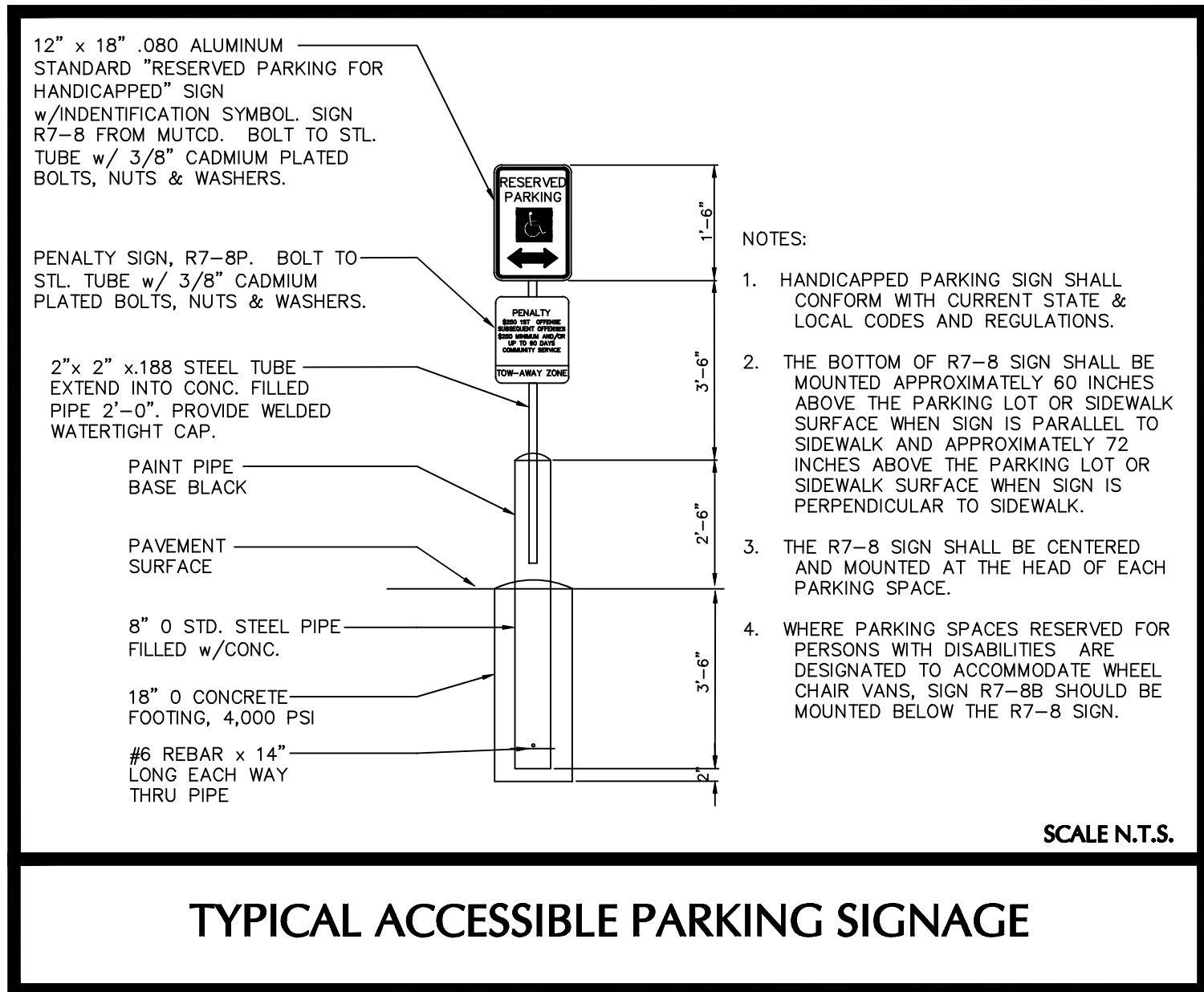
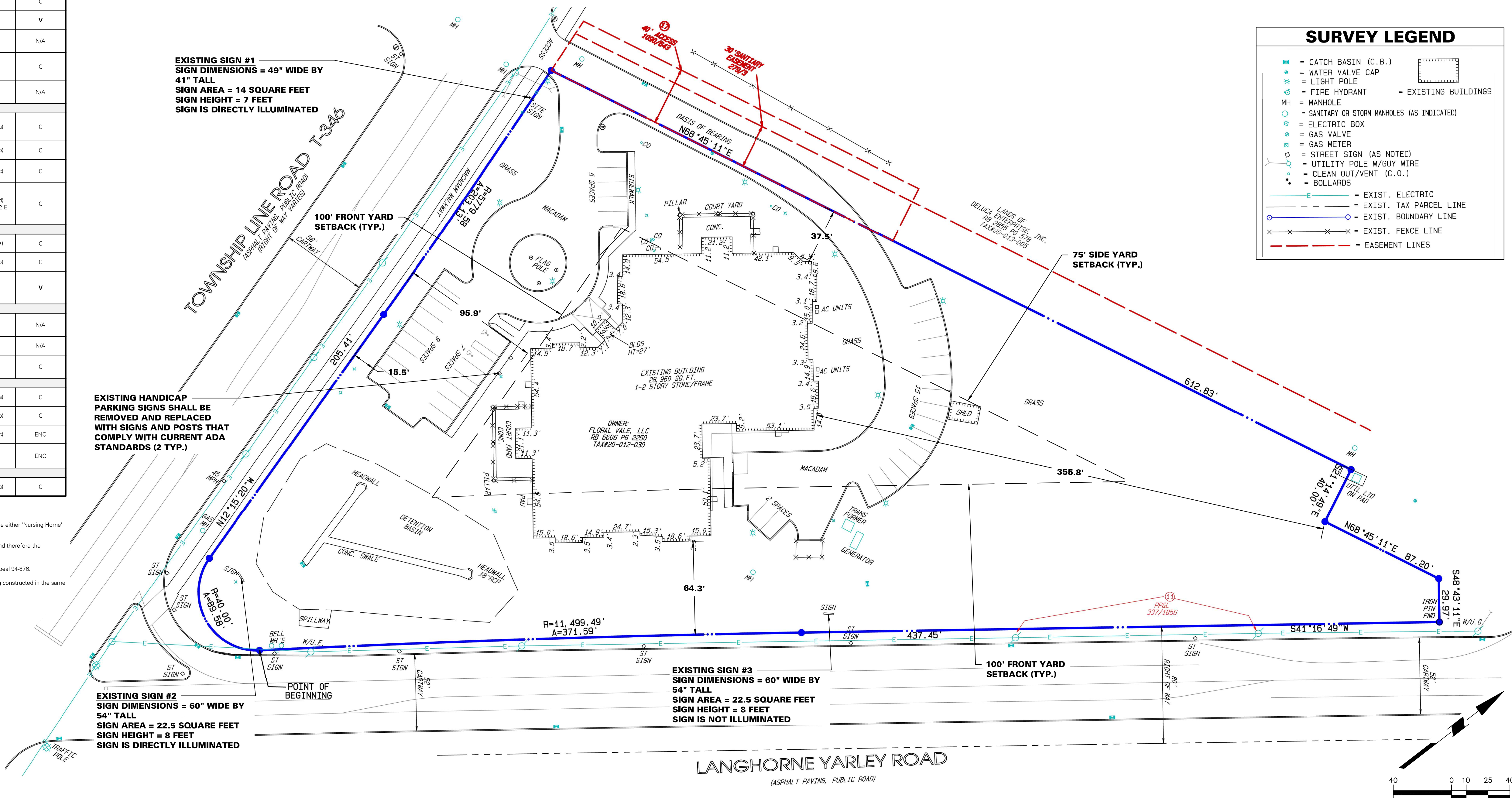


BTC INTERMEDIATE HOLDINGS, LLC, 600 TOWNSHIP LINE ROAD, YARDLEY, PA LOWER MAKEFIELD TOWNSHIP ZONING COMPLIANCE CHART O/R "OFFICE RESEARCH" ZONING DISTRICT					
Item/Requirement	Required / Permitted	Existing	Proposed	Ordinance Section	Compliance (C)
Use					V / CU (See Note 2)
Proposed Use	Nursing Home (Assisted Living Facility) / Community Treatment / Rehabilitation Facility (See Note 1)	Nursing Home (Assisted Living Facility) (See Note 1)	In-Patient Mental Health Community Treatment / Rehabilitation Facility	200-48.A(1) / 200-48.C.(7)	
Area, Yard and Building Requirements					
Minimum Net Lot Area	25 acres	4.37 acres (190,649 SQ. FT.)	4.37 acres (190,649 SQ. FT.)	200-49	ENC (See Note 3)
Minimum Lot Width	200 feet, or 40% of the maximum tract depth, whichever is greater	427.96 feet	427.96 feet	200-49	C
Maximum Building Coverage	35%	15.2% (28,960 SQ. FT.)	15.2% (28,960 SQ. FT.)	200-49	C
Maximum Impervious Surface Ratio	65%	32.9% (62,775 SQ. FT.)	32.9% (62,775 SQ. FT.)	200-49	C
Minimum Front Yard Setback	100 feet	64.3 feet to Langhorne Yardley Road	64.3 feet to Langhorne Yardley Road	200-49	ENC (See Note 3)
Minimum Side Yard Setback	75 feet	37.5 feet	37.5 feet	200-49	ENC (See Note 3)
Minimum Rear Yard Setback	100 feet adjoining a residential district	355.8 feet	355.8 feet	200-49	C
Maximum Building Height	3 stories, up to a max of 50 feet not including mechanical equipment on roof (See Note 2)	1 story, less than 50 feet	1 story, less than 50 feet	200-49	C
Supplemental Regulations					
A. Each enterprise shall be conducted wholly within an enclosed building except for storage yards and loading operations.		Conforms	Conforms	200-50.A	C
B. Provision of water supply and sewage disposal. Any building or uses permitted in the district shall be served by central or public water and sanitary sewer facilities. The methods and plans for sewage disposal shall be submitted to the appropriate governmental agency. The certification of the agency of such a plan shall be required before approval of a zoning permit.		Conforms	Conforms	200-50.B	C
C. Each use shall be conducted wholly within an enclosed building.		Conforms	Conforms	200-50.C	C
D. Overall plan required. Each proposed O/R District development shall be constructed in accordance with an overall plan which shall be designed as a single architectural scheme with appropriate landscaping and shall be subject to the land development requirements contained in Chapter 178, Subdivision and Land Development.		N/A	N/A	200-50.D	N/A
E. Buffer requirements. The standards set forth in Article XVI shall be met.	See "Buffer Requirements" section	See "Buffer Requirements" section	See "Buffer Requirements" section	200-50.E	C
F. Parking requirements. Off-street parking spaces shall be provided in accordance with Sections 200-78 and 200-79.	See "Parking Requirements" section	See "Parking Requirements" section	See "Parking Requirements" section	200-50.F	V
G. Loading and service areas. All establishments shall provide vehicular service access in accordance with the loading requirements of this chapter.	See "Off Street Loading Spaces" section	See "Off Street Loading Spaces" section	See "Off Street Loading Spaces" section	200-50.G	N/A
H. Access restrictions. There shall be not more than one roadway for access and one for egress for each 300 feet of road frontage along a major street or for each 150 feet measured along an intersecting street where the property is a corner lot.	One access	One access	One access	200-50.H	C
I. If the tract is subdivided, the recorded plan shall indicate the maximum permitted building coverage and impervious surface coverage on each lot in the subdivision.	N/A	N/A	N/A	200-50.I	N/A
Buffer Requirements					
Required Buffer Location and Type	Type IV - Institutional / residential separation buffer	Generally conforms based on visual inspection of existing conditions	Generally conforms based on visual inspection of existing conditions	200-73.C(5)(a)	C
Minimum Buffer Width	12 feet	15.5 feet Along Township Line Road	15.5 feet Along Township Line Road	200-73.C(5)(b)	C
Screened Planted Area	Adequate to provide a screen between parking and service areas and the abutting properties	Adequate based on visual inspection of existing conditions	Adequate based on visual inspection of existing conditions	200-73.C(5)(c)	C
Buffer Design and Plant Materials	Bearing height 2 to 3 feet with masses of evergreen, shade and ornamental trees and shrubs. Neighboring properties screened from parking areas using double row of ornamental shrubs or upright habit evergreens. The screening shrubs spaced to form a compact hedge	Generally conforms based on visual inspection of existing conditions	Generally conforms based on visual inspection of existing conditions	200-73.C(5)(d) SALDO 178-82.E	C
Parking Requirements					
Parking Stall Dimensions	10 feet by 20 feet	10 feet by 20 feet	10 feet by 20 feet	200-78.E(1)(a)	C
Accessible Parking Space Dimensions	Complies with current applicable regulations	Conforms with ADA Requirements	Conforms with ADA Requirements	200-78.E(1)(b)	C
Minimum Number of Parking Stalls	One off-street parking space for every three beds, plus one off-street parking space for each employee.	For 48 beds and 19 employees: (48 beds x 1 sp(3 beds) + 19 = 35 spaces required 35 spaces existing	For 65 beds and 32 employees: (65 beds x 1 sp(3 beds) + 32 = 54 spaces required 38 spaces proposed	200-79	V
Off Street Loading Spaces					
Minimum Number of Off Street Loading Berths	Applicable to business or industry uses	N/A	N/A	200-80	N/A
Minimum Off Street Loading Berth Dimensions	12 feet in width, 40 feet in length and 14 feet in height	N/A	N/A	200-81.A	N/A
Width of Driveways and Sidewalk Openings Measured at the Streetline	Maximum 35 feet, minimum 20 feet	25 feet	25 feet	200-81.C	C
Freestanding Signs					
Maximum Freestanding Sign Area	150 square feet	Existing Signs Conform - See Plan	Existing Signs Conform - See Plan	200-85.C(3)(a)	C
Maximum Freestanding Sign Height	14 feet above level grade	Existing Signs Conform - See Plan	Existing Signs Conform - See Plan	200-85.C(3)(b)	C
Maximum Number of Freestanding Signs Per Lot	One	Three	Three	200-85.C(3)(c)	ENC
Freestanding Sign Illumination	Signs may be nonilluminated or indirectly illuminated but may not be directly illuminated	Two existing signs are directly illuminated	Two existing signs are directly illuminated	200-85.C(4)	ENC
Parallel (Wall) Signs					
Maximum Parallel Sign Area	150 square feet	No Parallel Wall Signs Exist	No Parallel Wall Signs Proposed	200-85.C(2)(a)	C
ABBREVIATIONS: ENC = Existing Non Conformity, C = Conformance; V = Variance Required; CU = Permitted as a Conditional Use					
NOTES:					
1 - Existing use is an "Assisted Living Facility" per ZHB Appeal 94-876. Section 200-48 includes "Nursing Home" as a use permitted by right. Section 200-7 "Definitions" does not define either "Nursing Home" or "Assisted Living Facility". It is assumed that these two uses are one and the same.					
2 - Variance required for the use since the proposed "in-patient mental health treatment" activity is not included in the definition of "Community Treatment / Rehabilitation Facility", and therefore the proposed use is not a permitted use in the O/R Office Research Zoning District. A Conditional Use approval is required for the "Community Treatment / Rehabilitation Facility" use.					
3 - Variance for Minimum Lot Area of 4.377, for Minimum Front Yard Setback along Langhorne Yardley Road of 60 feet, and for Minimum Side Yard of 40 feet approved per ZHB Appeal 94-876.					
4 - Mechanical equipment located on the roof shall not exceed 10 feet in height, shall be located at least 10 feet from the edges of the building and shall be surrounded by screening constructed in the same general material and appearance as the building, unless otherwise approved by the Board of Supervisors					
NOTES:					
1. THIS PLAN HAS BEEN PREPARED WITH RESPECT TO THE FOLLOWING REFERENCES:					
1.1. 2021 ALTA/NSPS LAND TITLE SURVEY FOR 600 TOWNSHIP LINE ROAD, SURVEYED BY LUDGATE AND COORDINATED BY PARTNER, DATED SEPTEMBER 18, 2025.					
1.2. LOWER MAKEFIELD TOWNSHIP ZONING DISTRICT INFORMATION TAKEN FROM A PLAN TITLED "LOWER MAKEFIELD TOWNSHIP OFFICIAL ZONING MAP", DATED 2015.					
1.3. MIDDLETOWN TOWNSHIP ZONING DISTRICT INFORMATION TAKEN FROM A PLAN TITLED "MIDDLETOWN TOWNSHIP OFFICIAL ZONING MAP", UNDATED.					
2. PER FEMA FIRM FLOOD INSURANCE RATE MAPS 42017C0432J AND 42017C0434J FOR BUCKS COUNTY, PENNSYLVANIA, REVISED MARCH 16, 2015, THE SITE IS LOCATED WITHIN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X).					
3. THE SITE WILL BE SERVICED BY PUBLIC WATER AND PUBLIC SANITARY SEWER.					



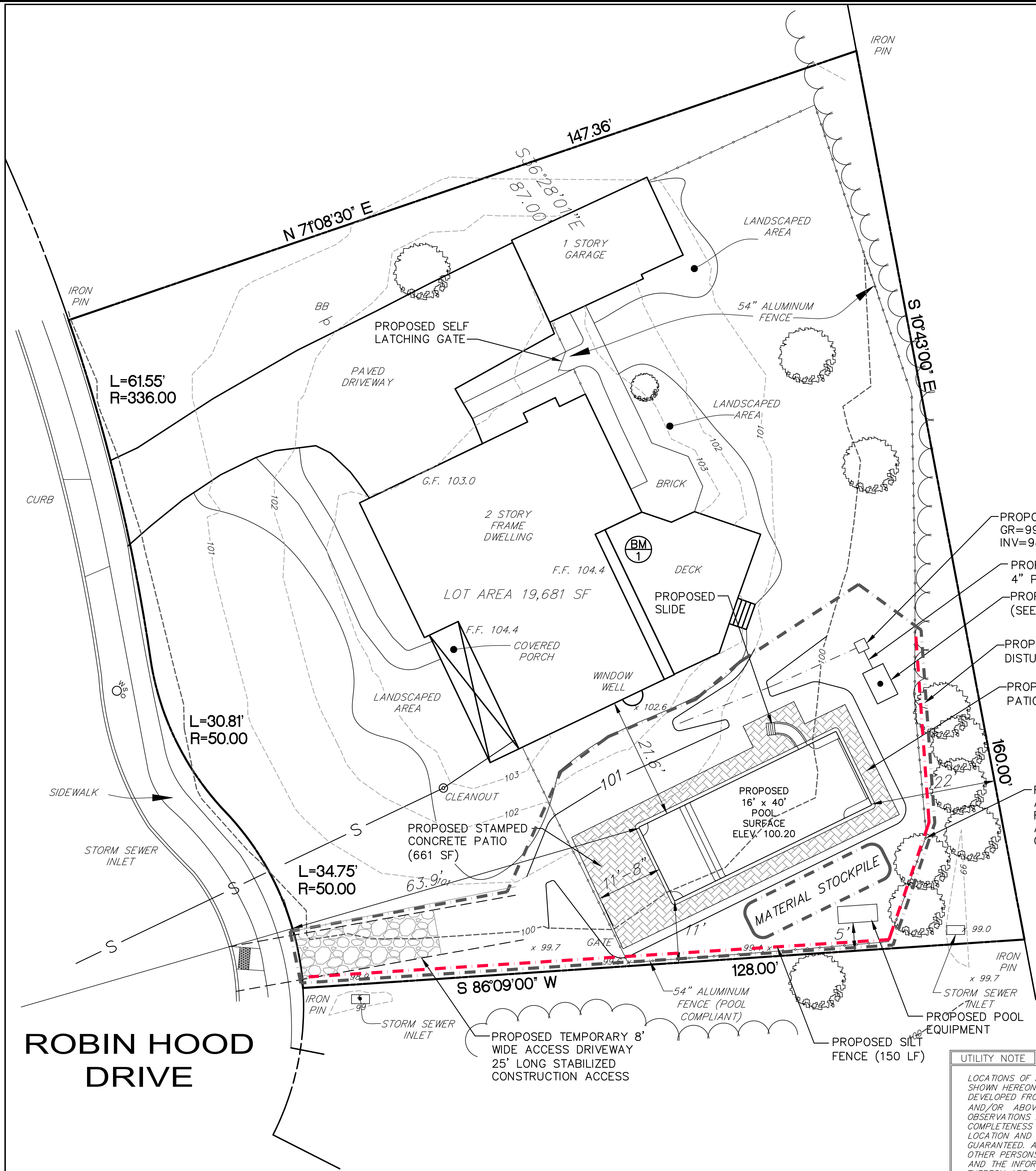
Signature: GREGORY MICHAEL ELKO
Date: _____
Professional Engineer PA Lic. No. PE055364E

LANGAN
Langan Engineering and Environmental Services, Inc.
Stone Manor Corporate Center, 2700 Kelly Road, Suite 200
Warrington, PA 18976
T: 215.491.6500 F: 215.491.6501 www.langan.com

Project
600 TOWNSHIP LINE ROAD
PARCEL NO. 20-012-030
TOWNSHIP OF LOWER MAKEFIELD
BUCKS COUNTY PENNSYLVANIA

Drawing Title
CONDITIONAL USE PLAN

Project No. 200231801	Drawing No. CS-101
Date 10/06/2025	Sheet 1 of 3
Drawn By AMM	
Checked By GE	



Impervious Coverage Calculations

300 Robin Hood Drive
Parcel#20-049-288
Lower Makefield Township
Bucks County

Lot Area: 19681 SF

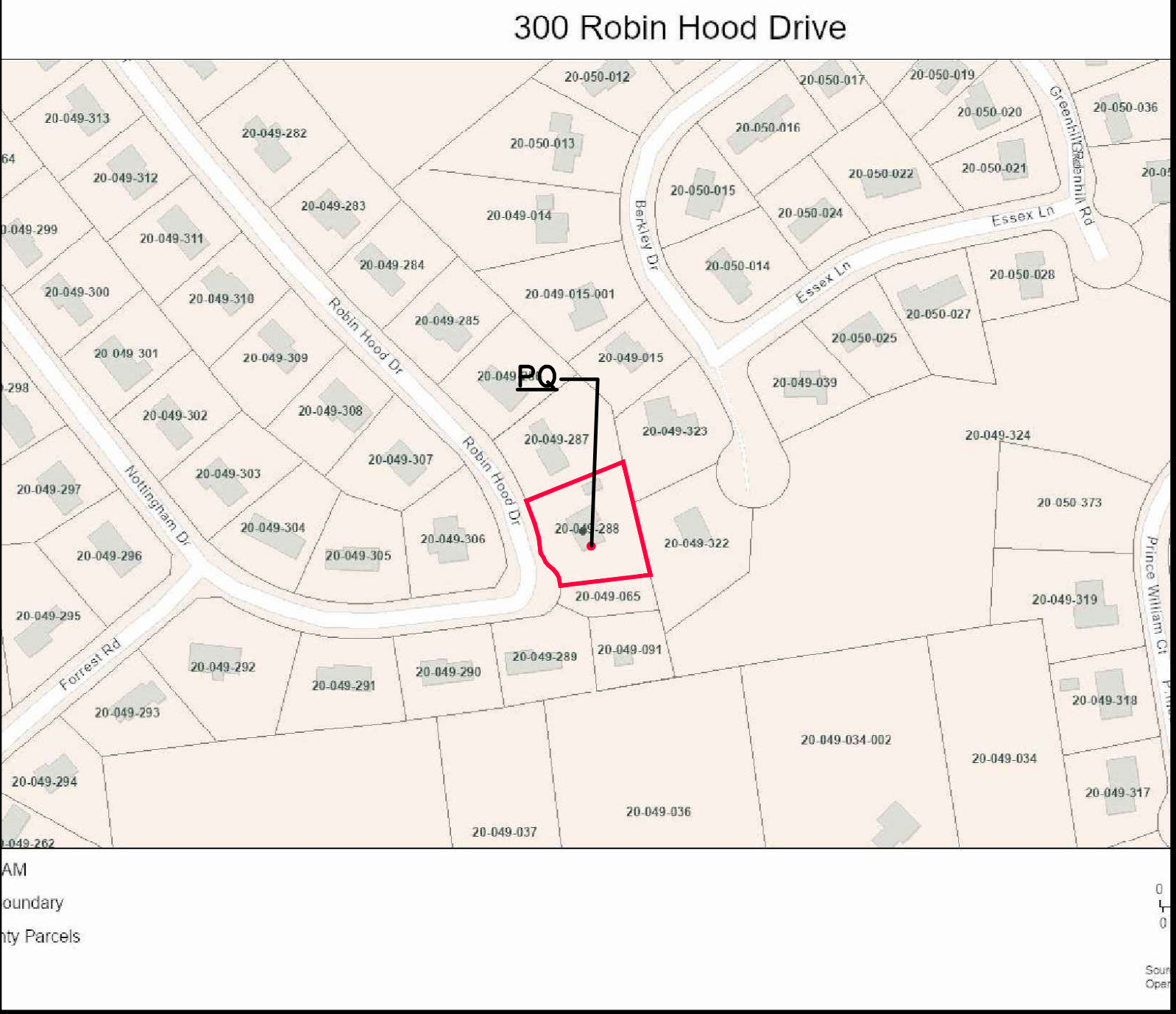
Existing Impervious Coverage

Dwelling:	1923 SF
Covered Porch	142 SF
Driveway:	416 SF
Detached Garage	1577 SF
Front Sidewalk:	188 SF
Rear Sidewalk	292 SF
Total	4538 SF
	23.06 %

Proposed Impervious Coverage

Dwelling:	1923 SF
Covered Porch	142 SF
Driveway:	416 SF
Detached Garage	1577 SF
Front Sidewalk:	188 SF
Rear Sidewalk	292 SF
Patio	661 SF
Pool Equipment	27 SF
Total	5226 SF
	26.55 %

Increase in Impervious Coverage 688 SF



KEY MAP

1"=200'

NOTES:

- THIS PLAN BASED ON A SURVEY ENTITLED "EXISTING FEATURES PLAN, 300 ROBIN HOOD DRIVE, YARDLEY, PA, LOWER MAKEFIELD TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA" PREPARED BY GLEN D. MONTELEONE, LIC. # 56447-E, DATED JULY 27, 2025, AND CONTAINS 0.452 ACRES (19,681 SF).
- SUBJECT PARCEL IS KNOWN AS PARCEL NUMBER 20-049-288 AS SHOWN ON THE TAX MAPS OF LOWER MAKEFIELD TOWNSHIP AND IS LOCATED IN THE "R-2" ZONE.
- POOL AND PATIO TO BE INSTALLED BY PREMIER POOLS AND SPAS.
- INCREASE IN IMPERVIOUS COVERAGE DUE TO POOL INSTALLATION: 688 SF.
- ALL EXCAVATED MATERIAL MUST BE DISPOSED OF IN ACCORDANCE WITH TOWNSHIP REGULATIONS OR USED AS FILL AT AN APPROVED LOCATION.
- NO WETLANDS EXIST WITHIN 150' OF THE SUBJECT PROPERTY.
- ZONE R-2 BULK REQUIREMENTS:

ZONING	REQUIRED	PROVIDED
SIDE SETBACK (POOL):	10'	11'
REAR SETBACK (POOL):	10'	22'
MAXIMUM LOT COVERAGE:	28%	26.55%
- THE POOL ENCLOSURE AND GATES SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT IRC STANDARDS AND APPLICABLE SECTIONS OF LOWER MAKEFIELD CODE 200-70(A)(4).

ROBIN HOOD DRIVE

UTILITY NOTE

LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM EXISTING RECORDS AND/OR ABOVE-GROUND OBSERVATIONS AT THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH CANNOT BE GUARANTEED. ALL CONTRACTORS AND OTHER PERSONS UTILIZING THIS PLAN AND THE INFORMATION CONTAINED THEREON ARE CAUTIONED TO COMPLY WITH THE REQUIREMENTS OF PENNSYLVANIA ACT 38, ENTITLED "EXCAVATION AND DEMOLITION WORK PROTECTION OF UNDERGROUND UTILITIES." EACH INDIVIDUAL USING THIS PLAN MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE STARTING WORK.



BENCHMARK
FINISHED FLOOR
ELEVATION= 104.4

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FAX: (908) 835-9909 WASHINGTON, N.J. 07882

Bryce D. Good
BRYCE D. GOOD, P.E., CPESC
PA Professional License No. PE074522

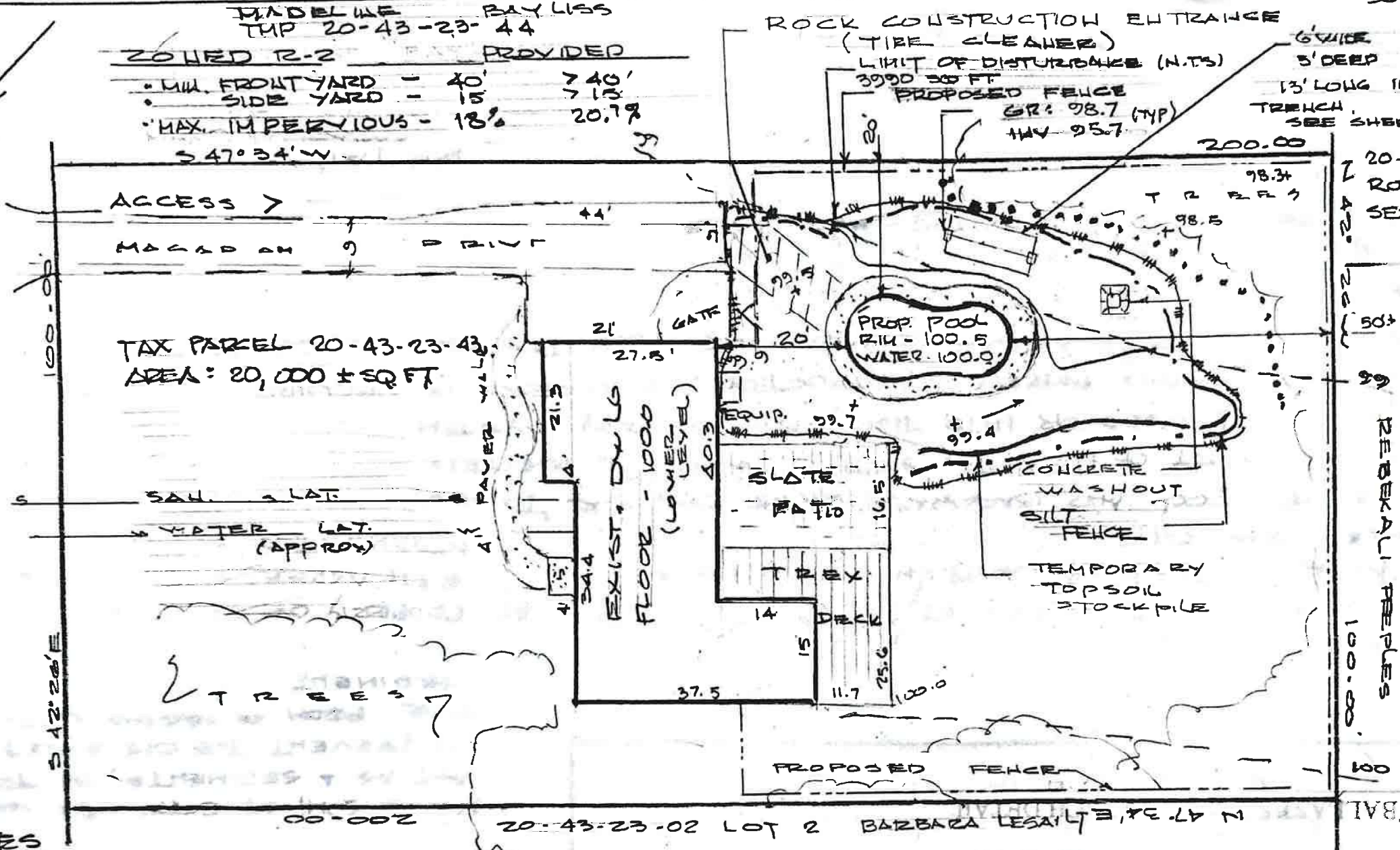
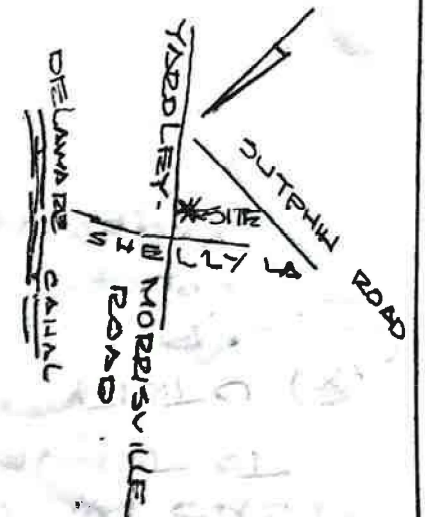
PROPOSED POOL PLOT/GRADING PLAN
AND SOIL EROSION AND SEDIMENT CONTROL PLAN
FOR
PROPOSED IN-GROUND SWIMMING POOL
300 Robin Hood Drive
PARCEL ID: 20-049-288
LOWER MAKEFIELD TOWNSHIP
BUCKS COUNTY, PENNSYLVANIA

DATE:	9/2/25	SCALE:	1"=10'	PROJECT NUMBER:	2025-083
DRN. BY/CHK. BY:	GV	FIELD BOOK		SHEET:	1 OF 2

MADELINE RAY LISS
 TWP 20-43-23-44
 ZONED R-2 PROVIDED
 • MIN. FRONT YARD - 40' > 40'
 • SIDE YARD - 15' > 15'
 • MAX. IMPERVIOUS - 18% 20.7%

SOIL: U13 URBAN LAND 0-3% SLOPES

YARDLEY - MORRISVILLE ROAD



PROPOSED FENCE
 MIN. 4' HIGH
 MAX 2" SPACING
 SELF LATCHING / LOCKING GATES
 IRC CODE
 DOOR ALARMS REQUIRED
 ENTIRE POOL TO BE ENCLOSED
 OUTWARD SWINGING GATES

LEGEND
 --- EXISTING CONTOUR
 --- PROPOSED CONTOUR
 → FLOW
 --- SILT FENCE
 --- LIMIT OF DISTURBANCE
 /// TIRE CLEANING AREA

IMPERVIOUS AREAS	
EXISTING DWELLING	1604
DRIVEWAY:	1198
WALKS/PATIOS:	1034
SHED/GARAGE:	—
TOTAL:	9.2% 3836
PROPOSED DECK	300
PADS:	
TOTAL:	20.7% 4136

NOTES

- REFERENCE - PLAN OF SURVEY PREPARED BY ROBERT F. MUELLER, DATED 09-25-69, "WYNNEWOOD".
- PROVISION OF DRAINAGE OF POOL AND BACKWASH WATER SHALL NOT BE EMPTIED ONTO PUBLIC ROADS OR ADJOINING LANDS OR INTO PUBLIC SANITARY SYSTEM
- Plan was prepared without the benefit of a title report and is subject to easements and documents (unrecorded and unrecorded)
- Pool construction and fence installation to comply with Township codes and regulation
- Any damage to the curb and sidewalk to be the responsibility of the owner who will make the necessary repairs
- Grading to remain as current conditions exist. No proposed runoff to reach adjacent properties

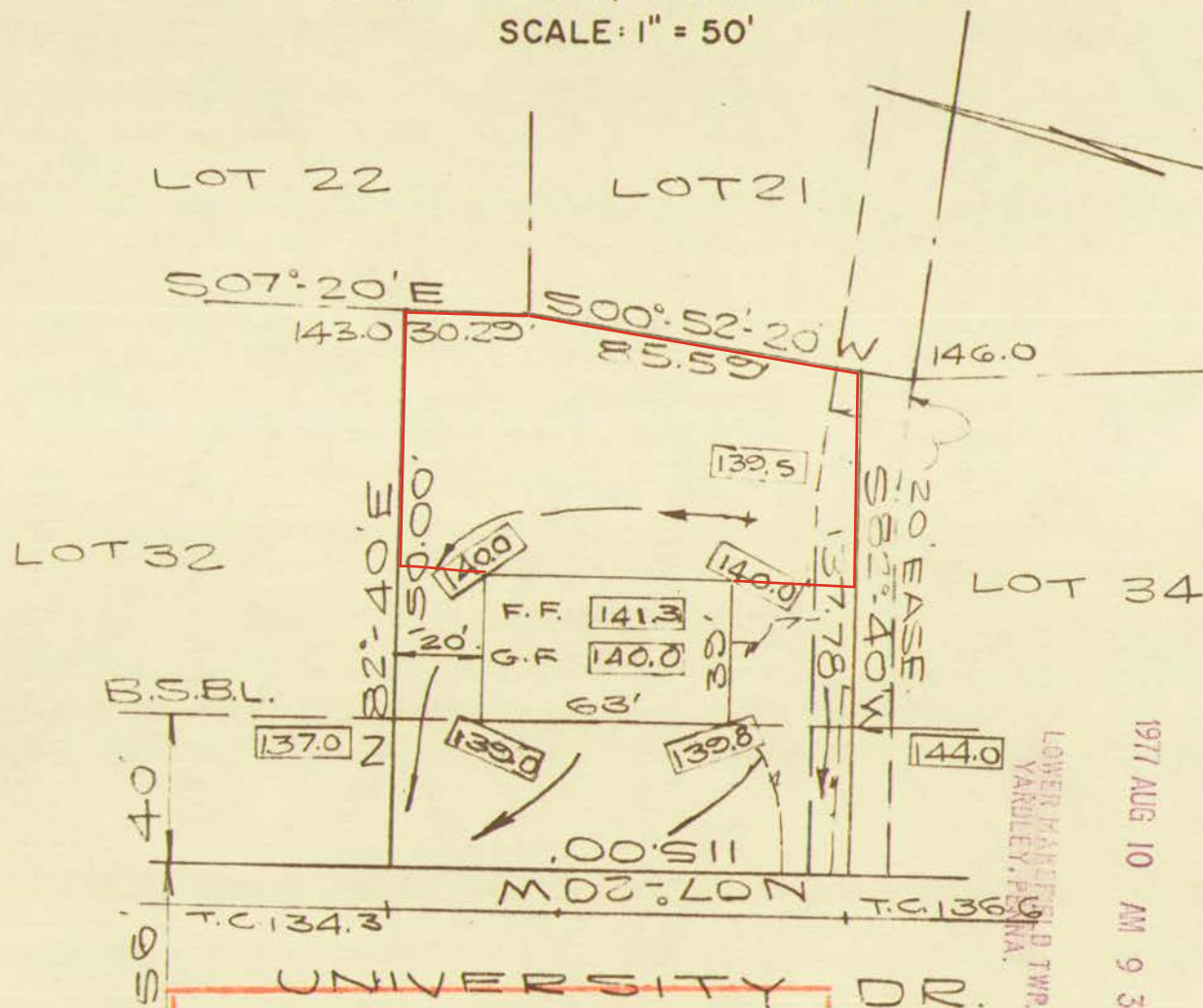


KENNETH C. SEELY, P.L.S.
 P.O. BOX 1832
 RIDGELAND, S.C. 29936

843 271-0737

ADDRESS
 1509 YARDLEY MORRISVILLE RD LOWER MAKEFIELD TOWNSHIP
 YARDLEY PA 19067 BUCKS COUNTY, PA
 GRAPHIC SCALE IN FEET
 20 10 0 20
 POOL PERMIT PLAN
 PREPARED FOR
ANTHONY FIORELLI
 SHEET 1 OF 4
 SCALE: 1"=20'
 DATE: 03-15-25

PLAN OF LOT 33
 SHOWING HOUSE LOCATION - SANDY RUN SECTION 3-B
 LOWER MAKEFIELD TOWNSHIP
 BUCKS COUNTY, PENNSYLVANIA
 SCALE: 1" = 50'



APPROVED

(EXCEPT AS NOTED)

Thomas Tyler Moore PE 8/19/77
 Name *Tap Day* Date

THOMAS TYLER MOORE ASSOC. INC.
 Consulting Engineers

REV. 8-4-77 ELEV'S.

☐ = PROP. ELEV.

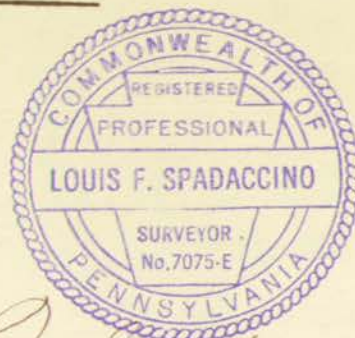
REV. 8-1-77 ELEV'S.

ARROWS INDICATE REQUIRED GRADING
 FOR SURFACE DRAINAGE FLOW.

FOUNDATION LOCATION:

PROP. HOUSE LOCATION: 7-21-77

JOB NO. 2467



Louis F. Spadaccino
 TRI-STATE ENGINEERS & LAND SURVEYORS, INC.
 801 WEST STREET ROAD
 FEASTERTVILLE, PENNSYLVANIA

REF. BK.

PG.