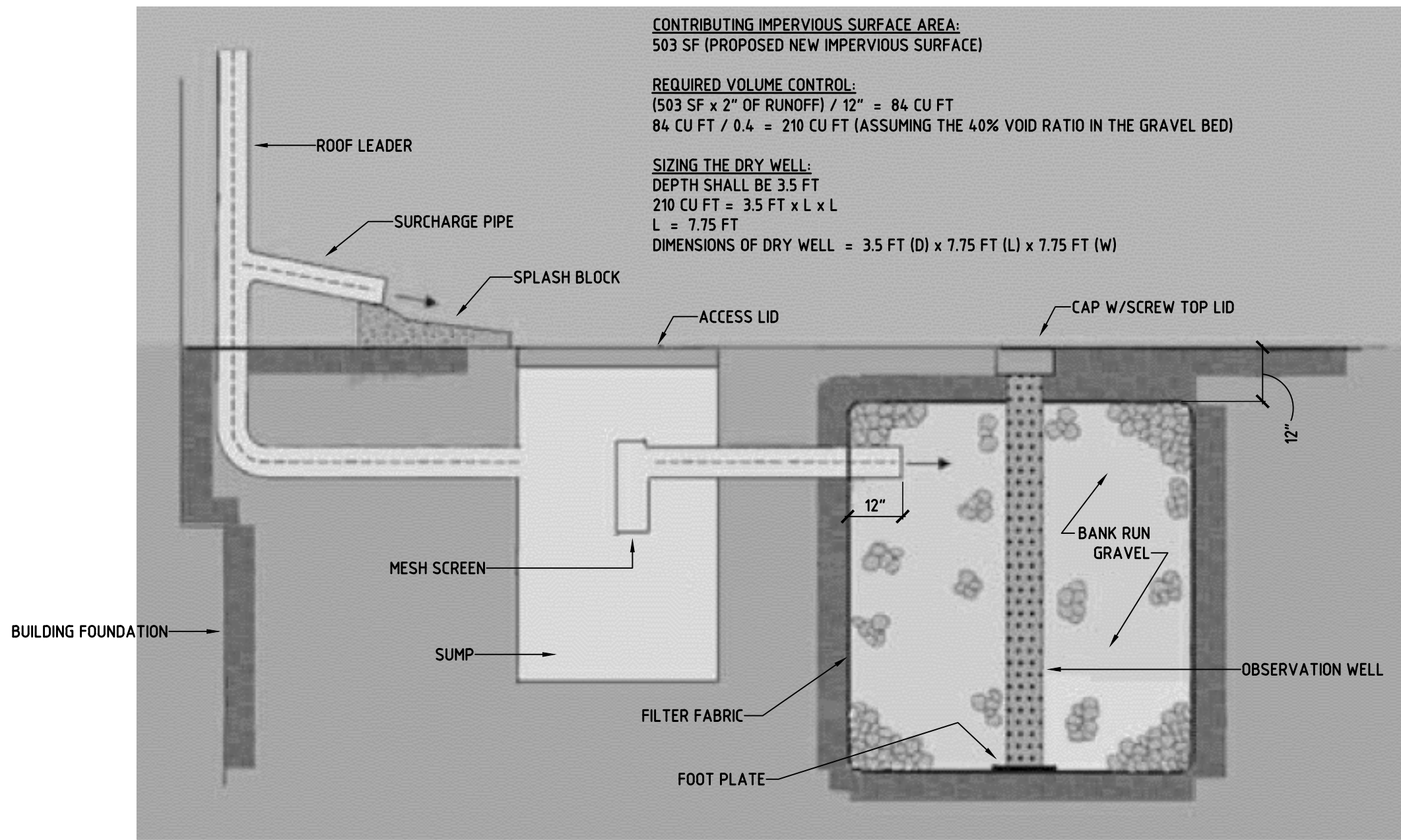


GENERAL NOTE:
THIS DOCUMENT IS FOR GRAPHIC
PURPOSES ONLY. CONSULTANT,
DESIGNERS, CONTRACTORS AND
OTHER TRADES SHALL BE
RESPONSIBLE FOR CHECKING AND
VERIFYING ALL PRESENT AND EXISTING
CONDITIONS, DIMENSIONS, ETC.
BEFORE PROCEEDING WITH WORK.



DRYWELL DETAIL

NTS

ZONING DISTRICT: R-2
LOT AREA: 19,559± SF (4.49± ACRES)

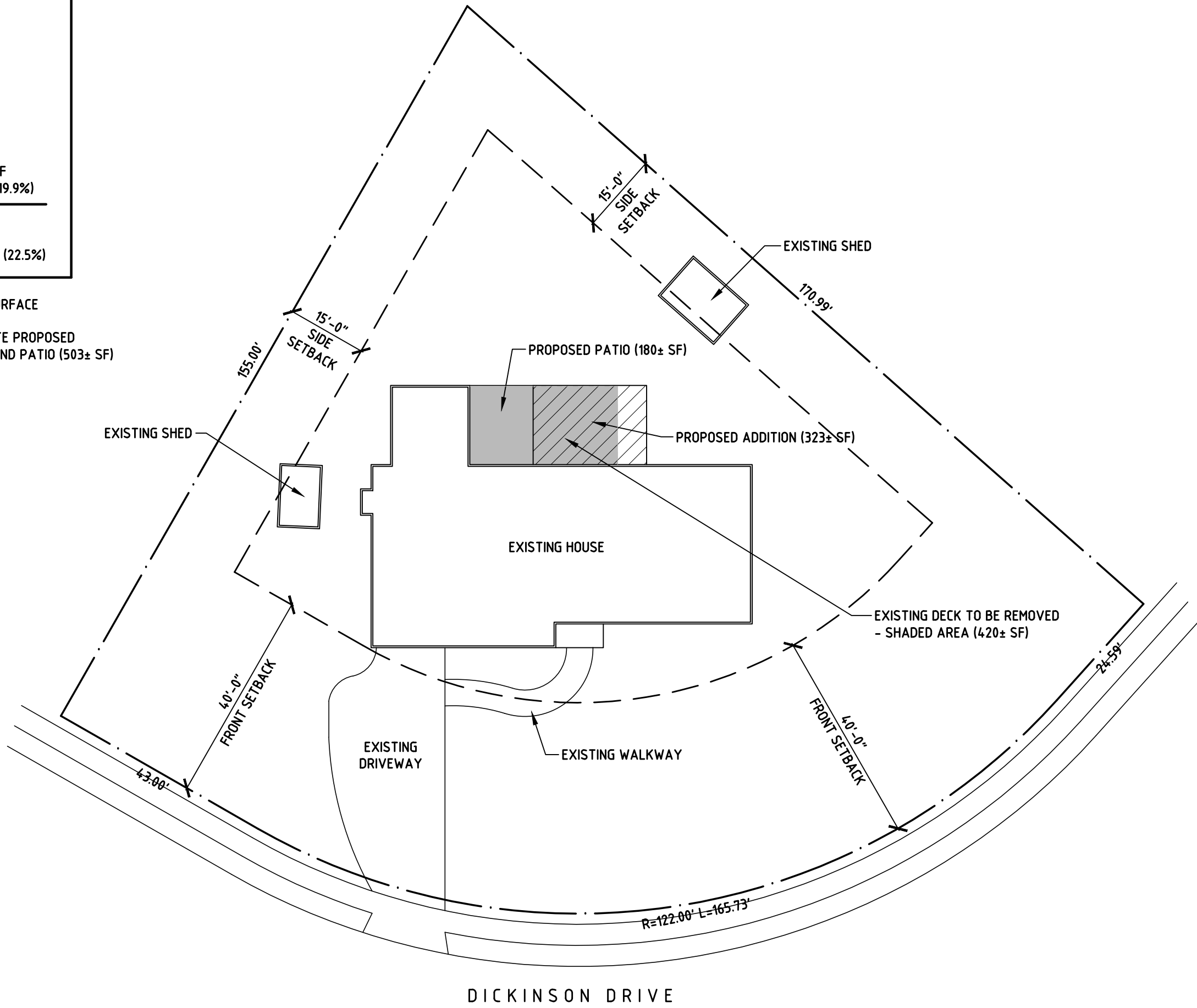
FRONT SETBACK: 40'
SIDE SETBACK: 15'
REAR SETBACK: 50'
IMPERVIOUS COVERAGE: 18% MAX (3,520.62± SF)

EXISTING HOUSE (INCLUDES FRONT PORCH): 2,614± SF
EXISTING SHEDS: 236± SF
EXISTING DRIVEWAY AND FRONT WALKWAY: 1,040± SF
TOTAL EXISTING IMPERVIOUS COVERAGE: 3,890± SF (19.9%)

PROPOSED ADDITION: 323± SF
PROPOSED PATIO: 180± SF
TOTAL PROPOSED IMPERVIOUS COVERAGE: 4,393± SF (22.5%)

VARIANCE REQUIRED FOR INCREASE IN IMPERVIOUS SURFACE

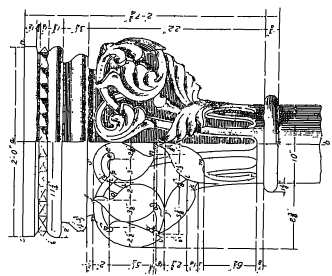
NOTE: DRYWELL WILL BE INSTALLED TO ACCOMMODATE PROPOSED
NEW IMPERVIOUS COVERAGE CREATED BY ADDITION AND PATIO (503± SF)



SITE PLAN

1"=20'

Matthew V. Piotrowski
Architect, LLC
600 Louis Drive, Suite 103
Warminster, PA 18974
215.675.2099



VILLADELGADO RESIDENCE

1209 DICKINSON DRIVE
YARDLEY, PA 19067

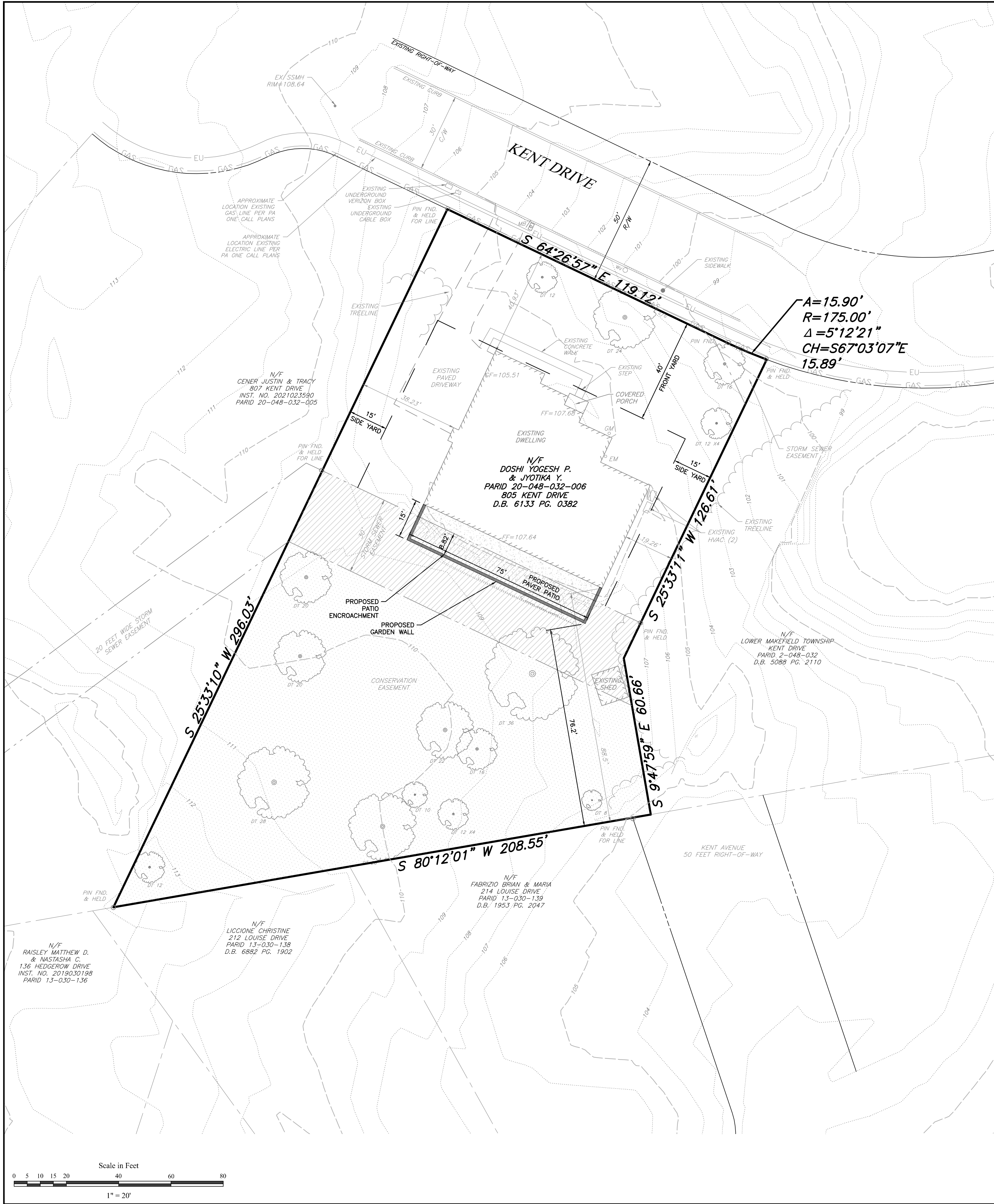
Drawn by: RFW	Checked by:
Scale: as noted	Date: 9-30-25
Remarks	Date

2025160

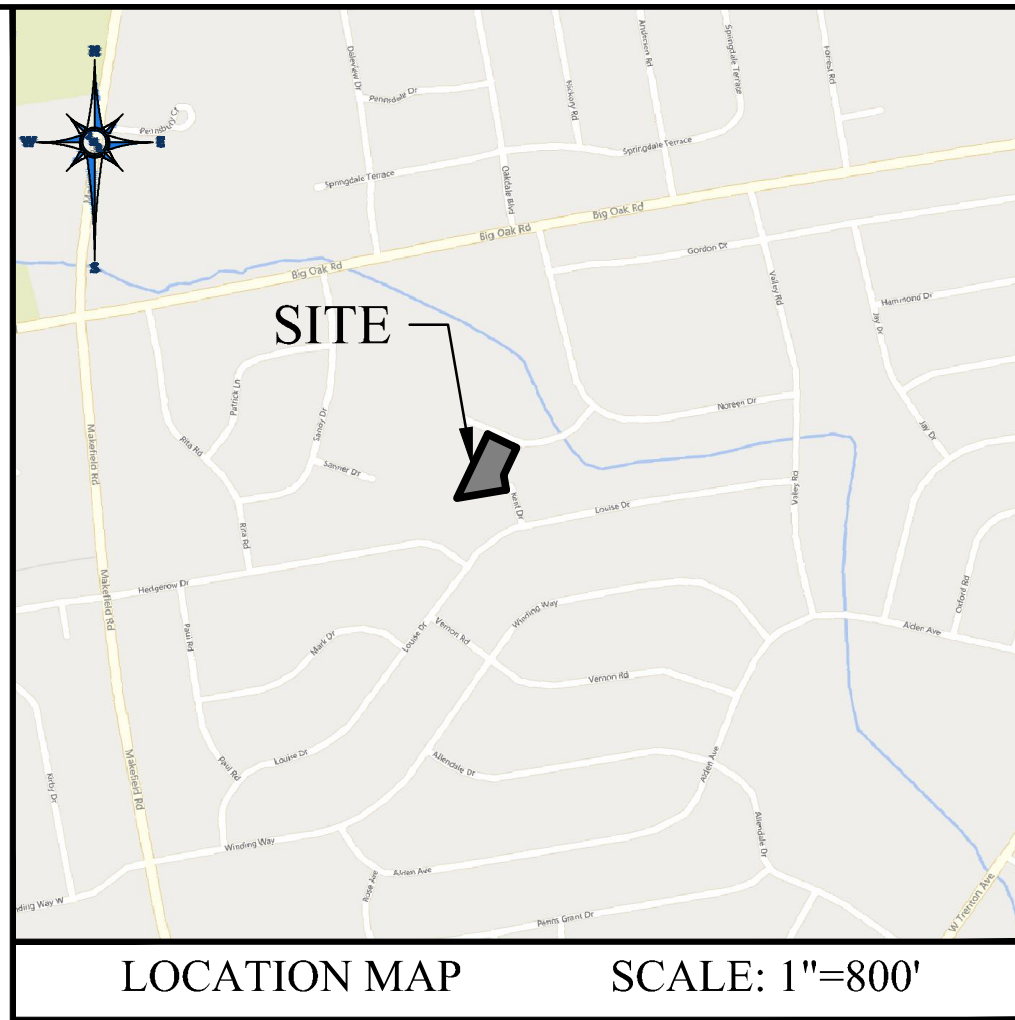
DO NOT SCALE DRAWINGS

Z1

SHEET 1 OF 1



LEGEND	
EXISTING	
	PROPERTY LINE
	ADJACENT PROPERTY LINE
	IRON PIN
	CONCRETE MONUMENT
	BUILDING SETBACK LINE
	RIGHT-OF-WAY LINE
	ASPHALT PAVEMENT
	BUILDING
	STORM SEWER EASEMENT
	CONSERVATION EASEMENT
	SIGN
	STORM SEWER LINE
	STORM SEWER INLET
	STORM SEWER MANHOLE
	SANITARY SEWER LINE
	SANITARY SEWER MANHOLE
	WATER LINE
	FIRE HYDRANT
	WATER VALVE
	WATER METER
	GAS LINE
	GAS VALVE
	OVERHEAD ELECTRIC LINE
	UTILITY POLE
	FENCELINE
	INDEX CONTOUR LINE
	INTERMEDIATE CONTOUR LINE
	TREE LINE
	DECIDUOUS TREE
	CONIFEROUS TREE



NET LOT AREA TABLE	
GROSS LOT AREA	= 34,835 SF
CONSERVATION EASEMENT	= 19,835 SF
UTILITY AREA	= 0 SF
NET BUILDABLE AREA	= 15,000 SF

LOWER MAKEFIELD TOWNSHIP - R-2 RESIDENTIAL MEDIUM DENSITY ZONING DISTRICT			
AREA & BULK REGULATIONS:	REQUIRED*	EXISTING	PROPOSED
LOT AREA	12,500 SF (MIN.)	34,835 SF (GROSS) 15,000 SF (NET)	34,835 SF (GROSS) 15,000 SF (NET)
FRONT YARD	40 FEET (MIN.)	40.93 FEET	40.93 FEET
SIDE YARD	15 FEET (MIN.)	19.26 FEET	19.26 FEET
REAR YARD	40 FEET (MIN.)	88.5 FEET	72.8 FEET
IMPERVIOUS COVERAGE	35% (MAX.)	31.5% (5,934 SF)**	37.5% (7,065 SF)**
OPEN SPACE	45% (MIN.)	83% (28,901 SF)	79.7% (27,770 SF)
BUILDING HEIGHT	35 FEET (MAX.)	<35 FEET (MAX.)	<35 FEET (MAX.)

*PER REFERENCE PLAN (SEE PLAN REFERENCE NOTE THIS SHEET)
** VARIANCE REQUIRED

IMPERVIOUS COVERAGE TABLE	
EXISTING DWELLING	= 4,186 SF
EXISTING DRIVEWAY	= 1,409 SF
EXISTING SHED	= 134 SF
EXISTING COVERED PORCH	= 39 SF
EXISTING WALK	= 166 SF
TOTAL IMPERVIOUS COVERAGE EXISTING	= 5,934 SF
PROPOSED PAVER PATIO AND WALLS	= 1,131 SF
TOTAL IMPERVIOUS COVERAGE EXISTING	= 7,065 SF

- PROJECT GENERAL NOTES:**
- PROJECT INFORMATION:**
 - PARCEL ID NUMBER: #20-048-032-006
 - 805 KENT DRIVE
 - YARDLEY, PA. 19067
 - DEED BOOK 6133, PAGE 0382
 - FIELD SURVEY CONDUCTED BY JMR ENGINEERING OF 106 SCHUBERT DRIVE, DOWNINGTOWN, PA. 19335 ON AUGUST, 2025. THE HORIZONTAL DATUM IS NAVD83 AND VERTICAL DATUM IS NAVD88. THIS WAS ESTABLISHED BY STATIC OBSERVATIONS CORRECTED BY THE USGS ONLINE POSITIONING USER SYSTEM (OPUS).
 - THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS, EASEMENTS, AND/OR RIGHT-OF-WAYS, WRITTEN OR IMPLIED.
 - FEMA FLOOD MAP NUMBER 42017C0454K (PANEL 454 OF 532), INDICATES THAT THE PROPERTY IS LOCATED WITHIN ZONE X AND IS OUTSIDE THE 100-YEAR FLOODPLAIN.
 - SOILS PLOTTED FROM NATIONAL RESOURCES CONSERVATION DISTRICT (NRCS) WEB SOIL SURVEY, BY THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA).

PLAN REFERENCES:

MAJOR SUBDIVISION PLAN OF "ISLAND WOODS ESTATES" LOWER MAKEFIELD TOWNSHIP, BUCKS COUNTY, PENNA. PREPARED FOR SAVERIO COSTANZO, PREPARED BY PARK ASSOC. INC. ENGINEERS AND SURVEYORS BOX 518 WASHINGTON CROSSING PA. 18977. PLAN DATE NOVEMBER 15, 1989 AND LAST REVISED 6-25-91.

JMR ENGINEERING, LLC

PROFESSIONAL CIVIL ENGINEERING • LAND PLANNING SERVICES

106 SCHUBERT DRIVE ~ DOWNINGTOWN, PA 19335

VOICE: (484) 880-7342

EMAIL: ADMIN@JMRENGINEERING.COM

WEBSITE: WWW.JMRENGINEERING.COM

This plan is a representation of an engineering project and not a legal document. It is not to be used for any purpose other than the specific project for which it was prepared. The engineer assumes no responsibility for the accuracy or completeness of the information provided by the client or for the results of the engineering work. The engineer's liability is limited to the professional services rendered hereunder. Corrections and additions shall be made on this plan.



UTILITY USERS LIST	
USERS	RESPONSES
USIC	CLEAR - NO FACILITIES
AQUA PA	CLEAR - NO FACILITIES
PECO	CLEAR - NO FACILITIES
PA AMERICAN WATER	CLEAR - NO FACILITIES

CALL BEFORE YOU DIG!

PAENR000001001 requires the CONTRACTOR TO NOTIFY UNDERGROUND UTILITY USERS AT LEAST 3 DAYS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND TO OBTAIN THE LOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION WORK.

1-800-242-1776

POCS SERIAL NUMBER: 20252312281

PLAN REVISIONS	
REV DATE	DESCRIPTION OF CHANGES

PROJECT: **SITE PLAN FOR 805 KENT DRIVE**

LOCATION: **805 KENT DRIVE YARDLEY, PA 19067 LOWER MAKEFIELD TOWNSHIP BUCKS COUNTY, PA**

PARCELS: **TAX PARCEL ID NUMBER: 20-048-032-006**

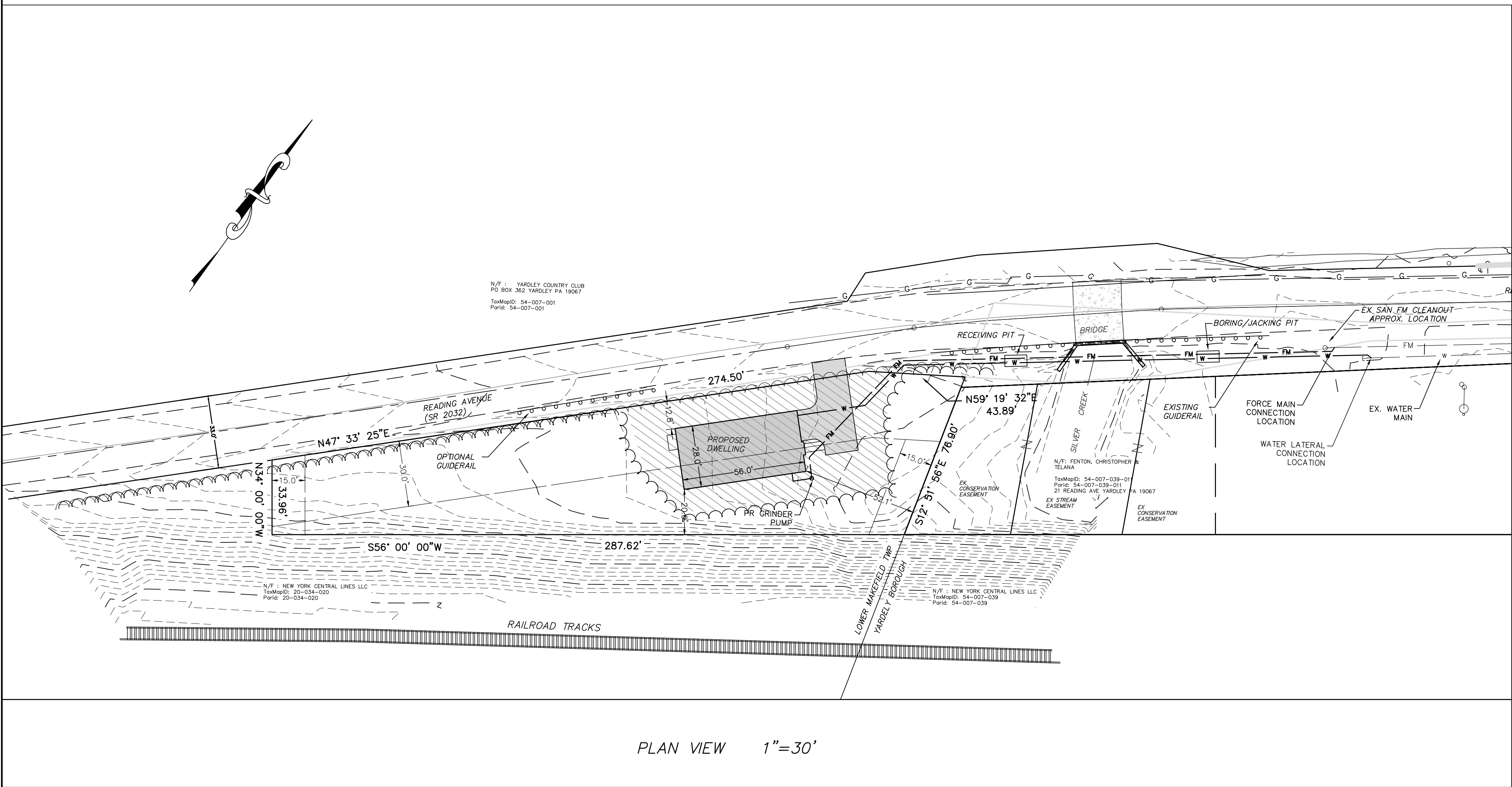
CLIENT: **YOGESH DOSHI 805 KENT DRIVE YARDLEY, PA 19067**

PROJECT No.:	1885-B
SURVEY REF.:	1885-EX(JMR)
DRAWN BY:	ECR
CHECKED BY:	JMR
PLAN DATE:	SEPTEMBER 11, 2025
PLAN SCALE:	AS NOTED

SHEET TITLE: **ZONING HEARING BOARD EXHIBIT**

SHEET NUMBER: **1 OF 1**

Plot Date: Thu. Sep. 11, 2025
File: 1885-EX-JMR.DWG



NOTES:

- A VARIANCE WAS GRANTED TO ALLOW 35.4 % WOODLAND DISTURBANCE (5976 SF) WHEN 25 % WAS THE MAXIMUM OTHERWISE ALLOWABLE. PERMIT PLANS FOR SITE DEVELOPMENT SHALL QUANTIFY THE TREE DISTURBANCE AND VISUAL MARKERS WILL BE INSTALLED DURING CONSTRUCTION TO ENSURE THE MAXIMUM CLEARING IS ADHERED TO.
- A DEED RESTRICTION SHALL BE ADDED NOTING THE MAX TREE DISTURBANCE.
- ANY TREES LOST TO CONSTRUCTION OUTSIDE THE 35.4 % WILL BE REPLACED BY THE OWNER / APPLICANT.

VARIANCES REQUIRED

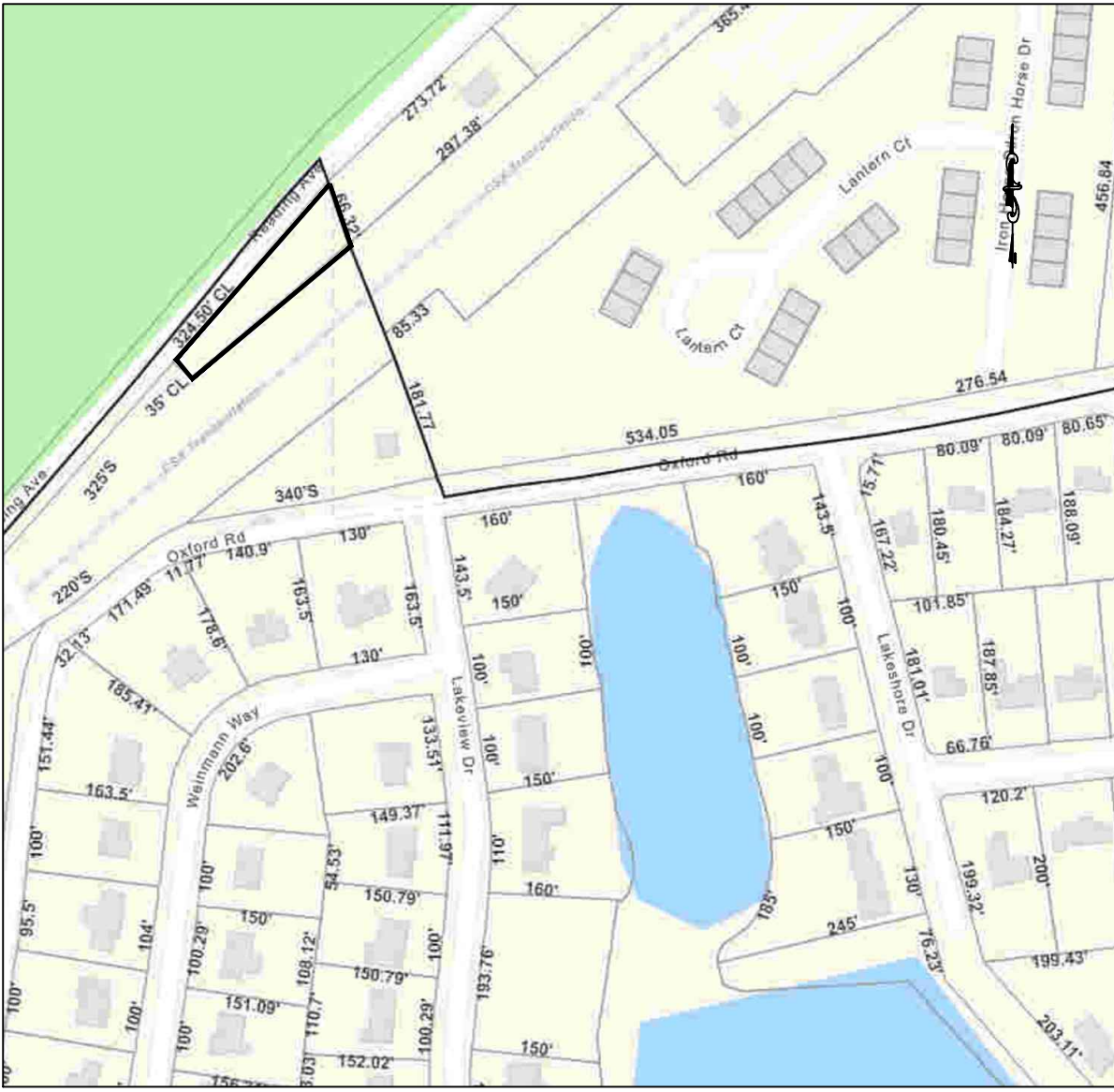
SECTION 200-22 LOT AREA AND YARD REQUIREMENTS FOR DWELLINGS: REQUESTING A FRONT YARD OF 12.0 FEET WHEN 30 FEET IS THE MINIMUM.

SECTION 200-22 LOT AREA AND YARD REQUIREMENTS FOR DWELLINGS: REQUESTING A REAR YARD OF 20.6 FEET WHEN 45 FEET IS THE MINIMUM.

SECTION 200-51.B.6.b. NATURAL RESOURCE PROTECTION REQUIREMENTS: REQUESTING WOODLAND DISTURBANCE OF 35.4 % WHEN 25% IS THE MAXIMUM.

NATURAL RESOURCE

NATURAL RESOURCE	MAXIMUM DISTURBANCE	EXISTING AREA	ALLOWED DISTURBANCE	DISTURBED AREA	DISTURBED RATIO
WOODLAND	25%	16898 SF	4224 SF	5,976 SF	35.4%



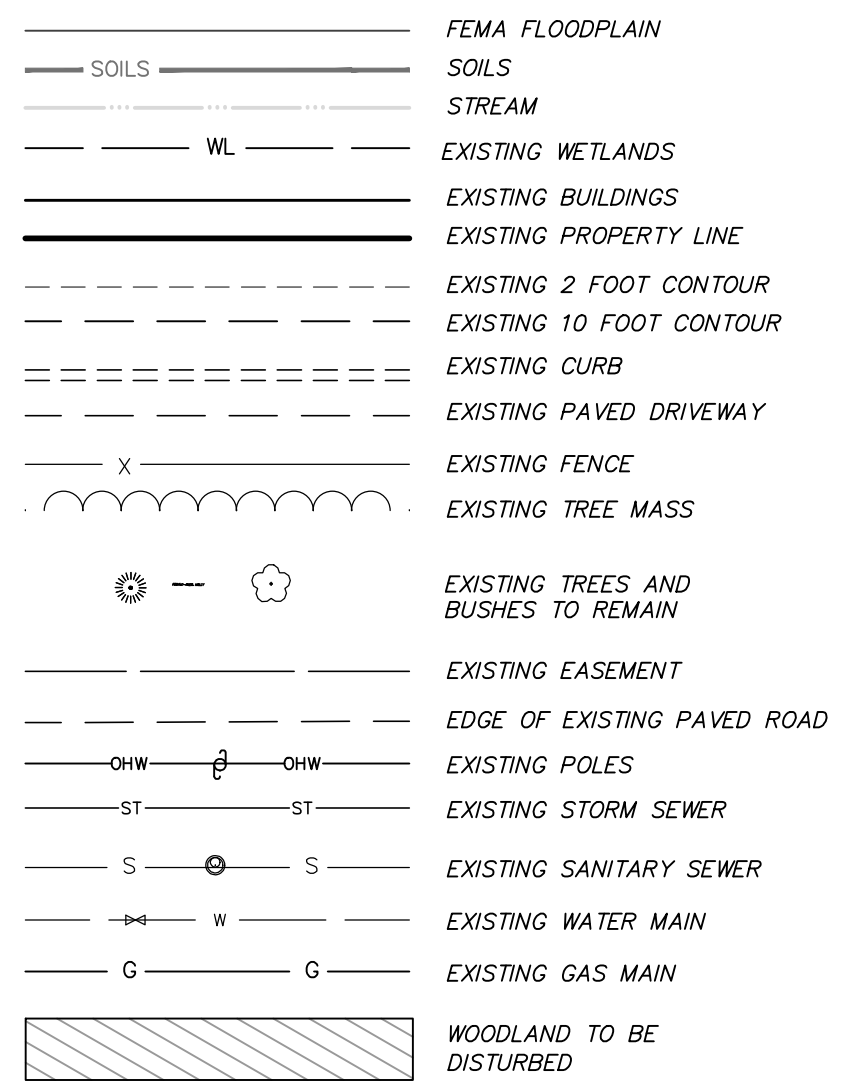
GENERAL NOTES

- PROJECT NARRATIVE:
THIS PLAN DEPICTS THE DEVELOPMENT OF TAX PARCEL 20-034-020-001, LOCATED AT READING AVENUE, LOWER MAKEFIELD TWP, BUCKS COUNTY, PA INTO A SINGLE-FAMILY RESIDENCE.
- ZONING DISTRICT: R2

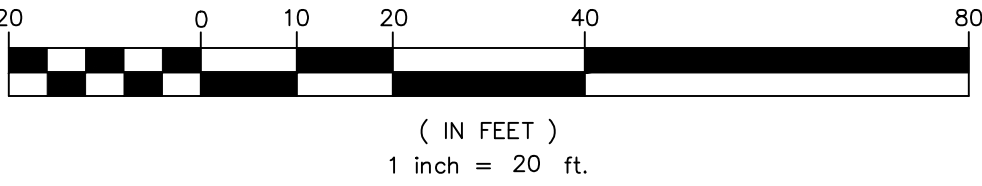
ITEM	REQUIRED	EXISTING	PROPOSED
MIN GROSS AREA (RESOURCE 46+ %)	12,500 SF	16898 SF	16898 sf
(EX LEGAL R/W)	12,500 SF	16898 SF	16,898 SF
LOT WIDTH @ BSBL	85 FT	307.02 FT	307.02 FT
FRONT YARD	30 FT	NA	12.8 FT*
SIDE YARD	15 FT	NA	52.1 FT
REAR YARD	45 FT	NA	20.6 FT*
BLDG HEIGHT	35 FT	NA	< 35 FT
MAX IMP SITE	25 %	0.0%	13.7%

* VARIANCE REQUIRED
- OWNER / APPLICANT:
ADR INVESTMENTS, LLC
7998 NEW FALLS RD
LEVITTOWN, PA 19055
- SITE DATA: TWP # 20-034-020-001
TOTAL TRACT AREA TO LEGAL RW LINE 0.39 AC
- TOPOGRAPHIC AND BOUNDARY DATA SHOWN ON THIS PLAN IS BASED UPON A FIELD SURVEY PERFORMED BY THIS OFFICE IN DECEMBER AND OCTOBER 2022
- ACT #187 PA ONE CALL NOTIFICATION
SERIAL NUMBER 2022-291-2153
- | ITEM | AREA |
|------------|----------|
| DWELLING | 1,574 SF |
| DRIVEWAY | 673 SF |
| WALKWAY | 35 SF |
| REAR PATIO | 29 SF |
| TOTAL | 2,311 SF |

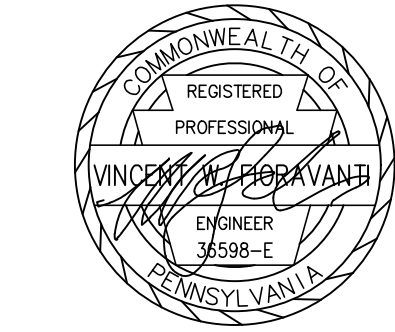
LEGEND



GRAPHIC SCALE



FIORAVANTI, INC.
CIVIL ENGINEERS & LAND SURVEYORS
618 STREET ROAD * SOUTHAMPTON, PA 18966
(215) 322 * 2143



REVISIONS

NO.	DESCRIPTION	DATE
1	release	5/15/23
2	add zhb notes	8-30-23

DATE: 12/16/22
SCALE: 1"=20'
JOB # 2114 FB # ---
DRAWN: STAFF CHECKED: VMF

READING AVE
LOWER MAKEFIELD TOWNSHIP
PREPARED FOR:
ADR INVESTMENTS, LLC
7998 NEW FALLS RD
LEVITTOWN PA 19055

**ZONING
EXHIBIT**