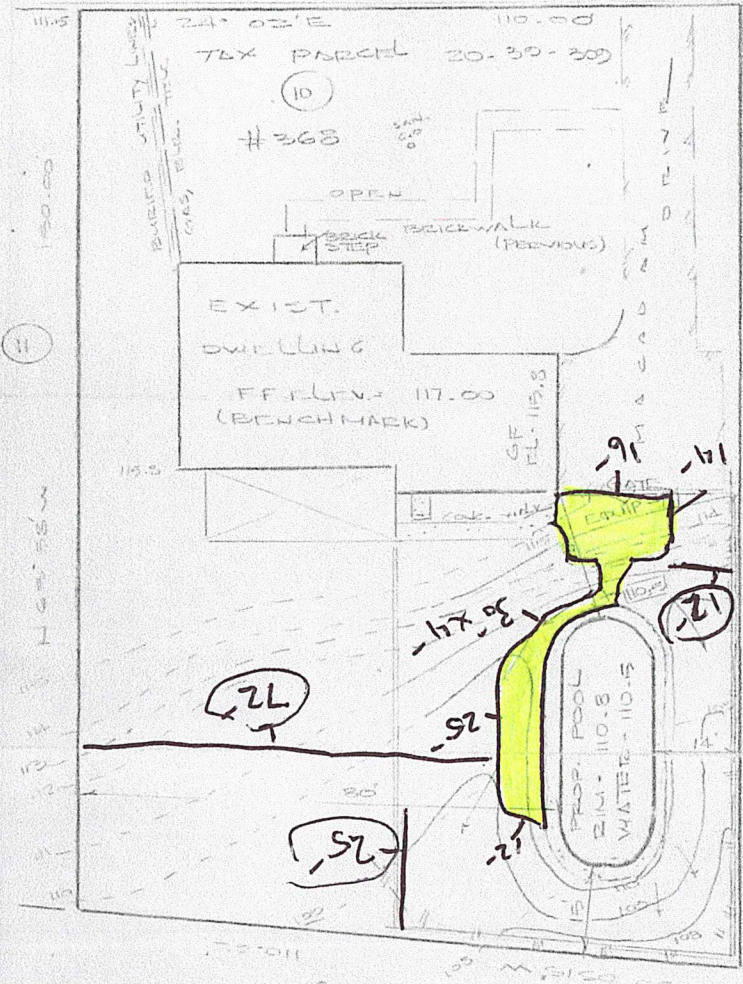


RAMSEY ROAD



LEGEND

- - - EXIST. CONTOUR
- - - PROP. CONTOUR
- ▭ PROP. GRADE
- SURFACE FLOW
- ||| SILT FENCE

- PROPOSED FENCE (TYP)
- MIN. 45" HIGH
 - MAX. 2" SPACING
 - MIN. 10' FROM WATER'S EDGE
 - SELF-LATCHING CLOSING GATE
 - ENTIRE POOL TO BE ENCLOSED
 - INWARD SWINGING GATE

IMPERVIOUS AREAS

(IN SQUARE FEET)

EXISTING DWELLING	=	117.00
EXISTING DRIVEWAY	=	13.35
EXISTING WALKS	=	1.38
PROPOSED DECK	=	—
PROPOSED COPING	=	—

TOTAL = 131.73 S.F. = 22.15%

MAX ALLOWABLE = 508.56 = 18%

LOT AREA = 222.32 S.F. ±

NOTES

- 1) UTILITY LOCATIONS TO BE VERIFIED BEFORE CONSTRUCTION.
- 2) AVOIDABLE WASHING ALONG AT 85 DEGS ON ALL EXTERIOR CORNERS ALONG REAR OF PRINCIPLE STRUCTURE.
- 3) REFERENCE - PLAN OF "QUEENS ARMY", PREPARED BY TRI-STATE ENGINEERS AND LAND SURVEYORS.
- 4) ZONED R-2

POOL PERMIT PLAN
PREPARED FOR
LAUREN ADAMS

LOWER MAKEFIELD TOWNSHIP
BUCKS COUNTY, PA

SCALE: 1" = 20'
DATE: 8-25-06

KENNETH C. SEELY
P.O. BOX 174
WASHINGTON CROSSING, PA
(215) 493-1226

Kenneth Seely

2003-56-P

PP - 1

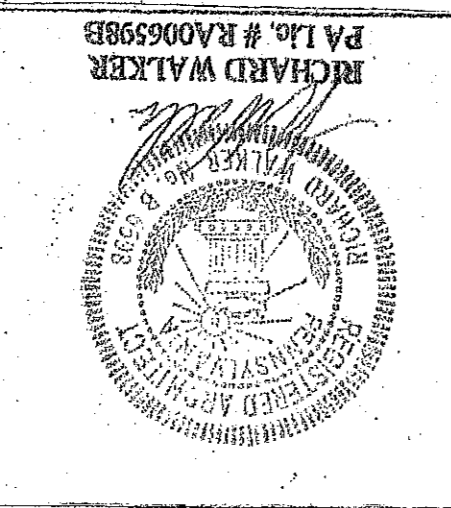
DATE: May 13, 2024

786 WASHINGTON CROSSING ROAD
NEWTOWN, PA 18940
FAX 215-860-8539

RICHARD WALKER ARCHITECT

JOB NAME
PROPOSED ADDITION
RUSK RESIDENCE
904 GAINSWAY ROAD
TOWNSHIP OF LOWER MAKEFIELD
NEWTOWN, PENNSYLVANIA 19067

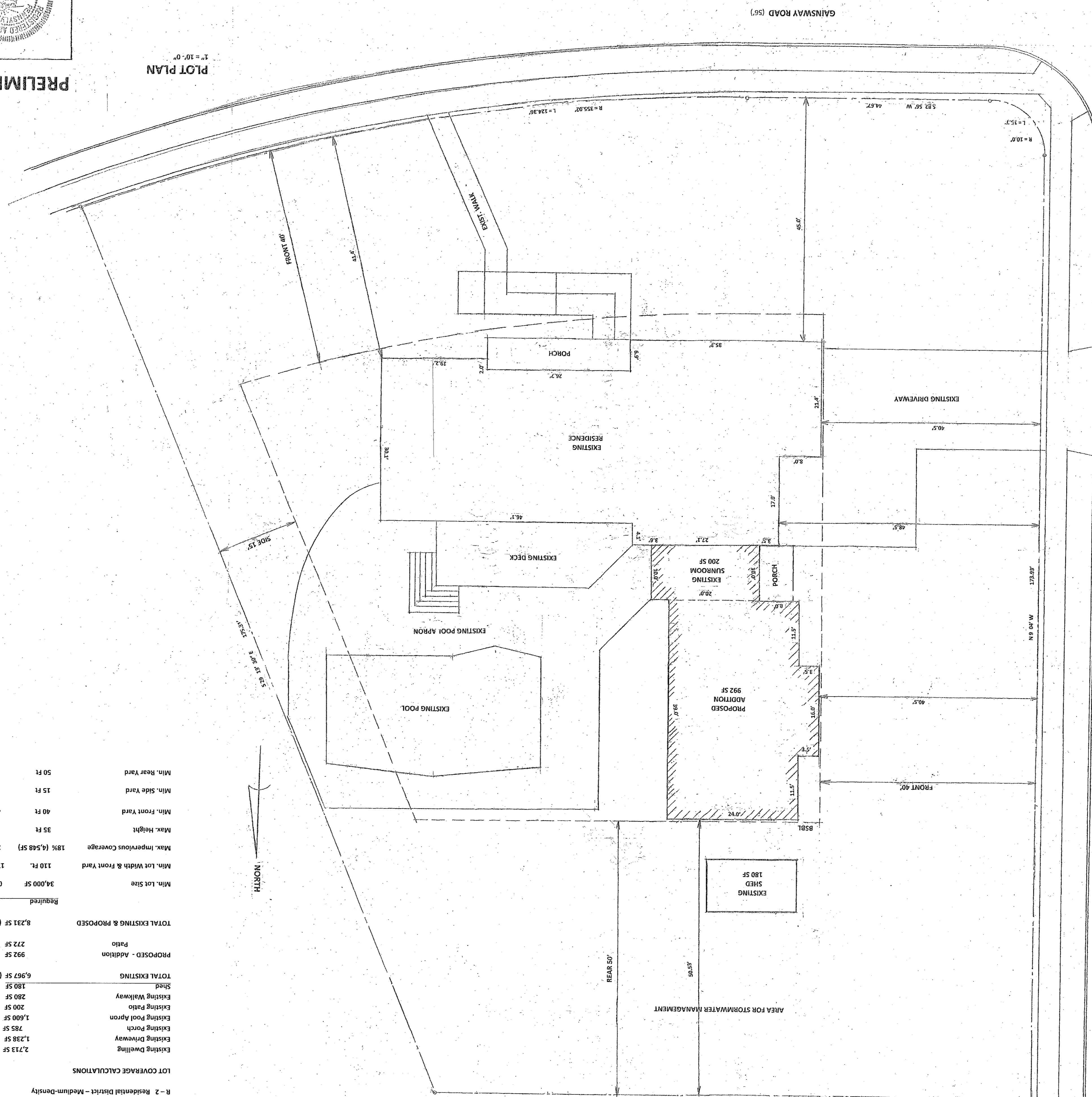
PA Lic. # R4006598B
RICHARD WALKER



PRELIMINARY

PLOT PLAN

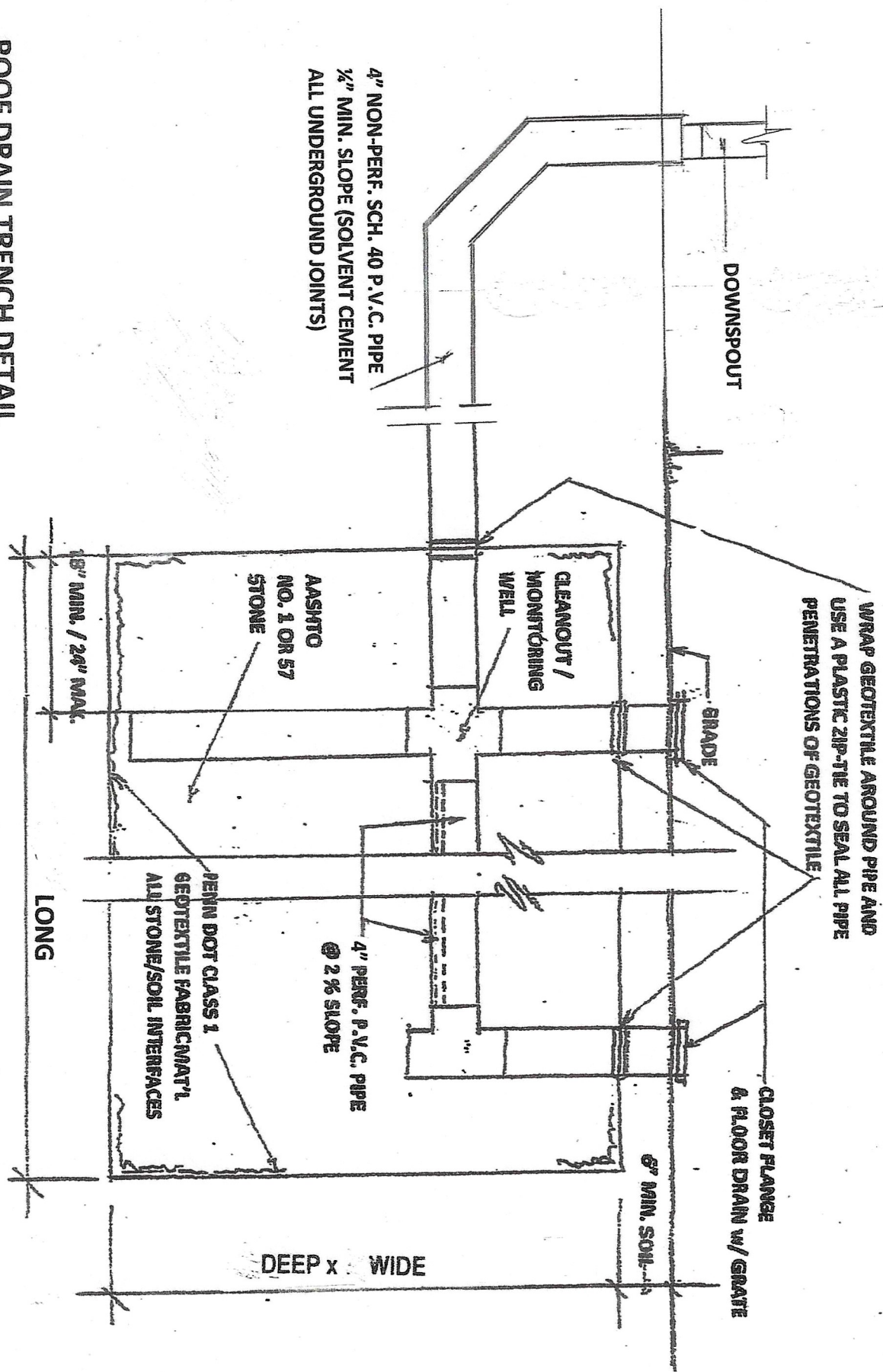
1" = 10'-0"



ZONING DATA
R - 2 Residential District - Medium-Density

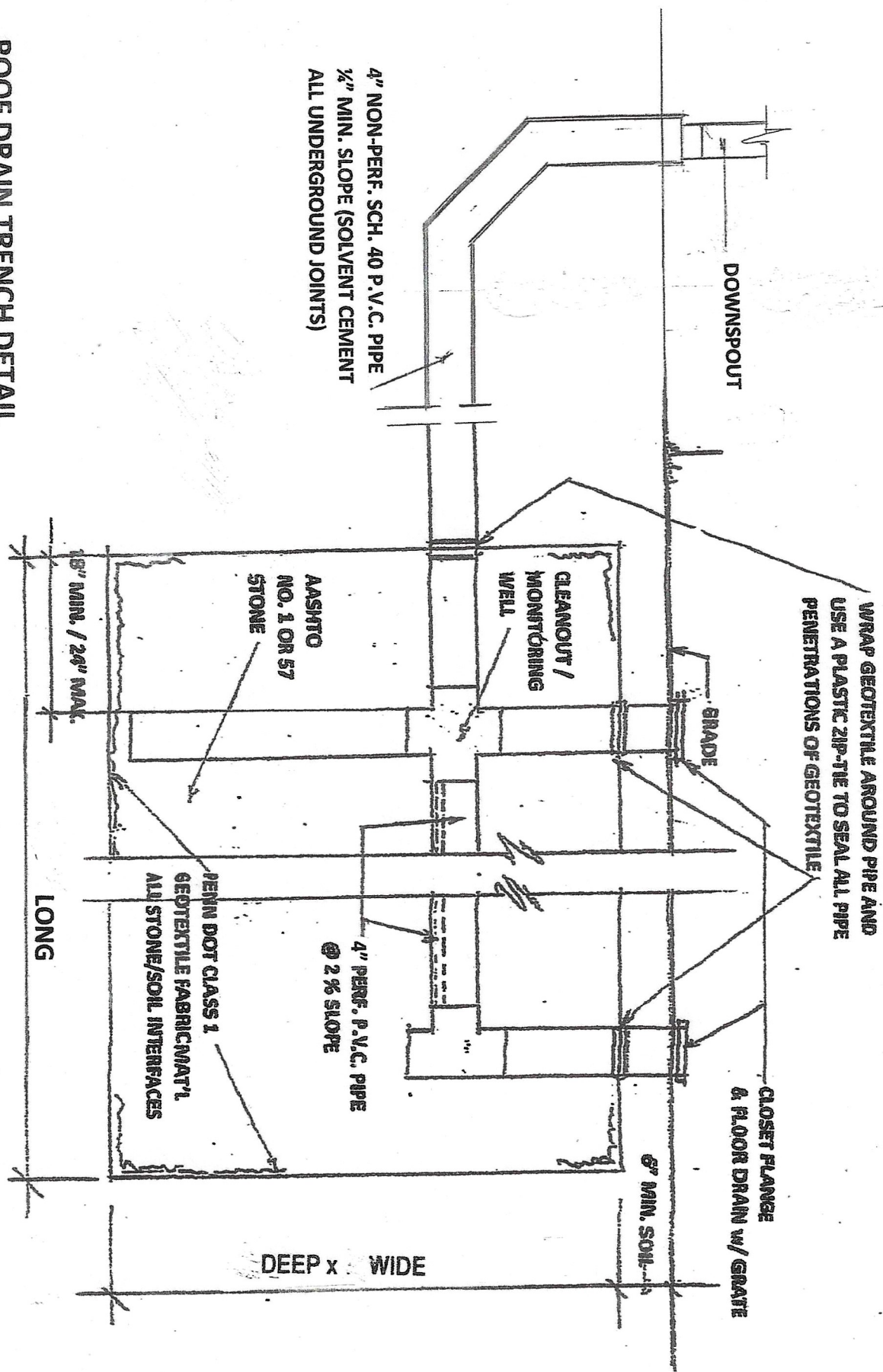
LOT COVERAGE CALCULATIONS

Category	Existing	Proposed
Existing Dwelling	2,713 SF	
Existing Driveway	1,238 SF	
Existing Porch	785 SF	
Existing Pool Apron	1,600 SF	
Existing Patio	200 SF	
Existing Walkway	280 SF	
Shed	180 SF	
TOTAL EXISTING	6,967 SF (27.58%)	
PROPOSED - Addition		992 SF
Patio		272 SF
TOTAL EXISTING & PROPOSED		8,231 SF (32.58%)
Required		
Min. Lot Size	34,000 SF	0.58 AC (25,264.8 SF)
N/C	N/C	N/C
Min. Lot Width & Front Yard	110 Ft.	173.93 Ft. & 169.0 Ft.
N/C	N/C	N/C
Max. Impervious Coverage	18% (4,548 SF)	27.58% (6,967 SF)
32.58%	(8,231 SF)	
Max. Height	35 Ft.	<35 Ft.
N/C	N/C	N/C
Min. Front Yard	40 Ft.	40.5 Ft. & 41.4 Ft.
N/C	N/C	N/C
Min. Side Yard	15 Ft.	29.0 Ft.
N/C	N/C	N/C
Min. Rear Yard	50 Ft.	101.3 Ft.
50.5 Ft.		



ROOF DRAIN TRENCH DETAIL

N.T.S.



WRAP GEOTEXTILE AROUND PIPE AND
 USE A PLASTIC ZIP-TIE TO SEAL ALL PIPE
 PENETRATIONS OF GEOTEXTILE

DOWNSPOUT

GRADE

CLOSET FLANGE
 & FLOOR DRAIN w/ GRATE

6" MIN. SOIL

4" NON-PERF. SCH. 40 P.V.C. PIPE
 1/2" MIN. SLOPE (SOLVENT CEMENT
 ALL UNDERGROUND JOINTS)

CLEANOUT /
 MONITORING
 WELL

AASHTO
 NO. 1 OR 57
 STONE

4" PERF. P.V.C. PIPE
 @ 2% SLOPE

JENN DOT CLASS 1
 GEOTEXTILE FABRIC/MAT'L
 ALL STONE/SOIL INTERFACES

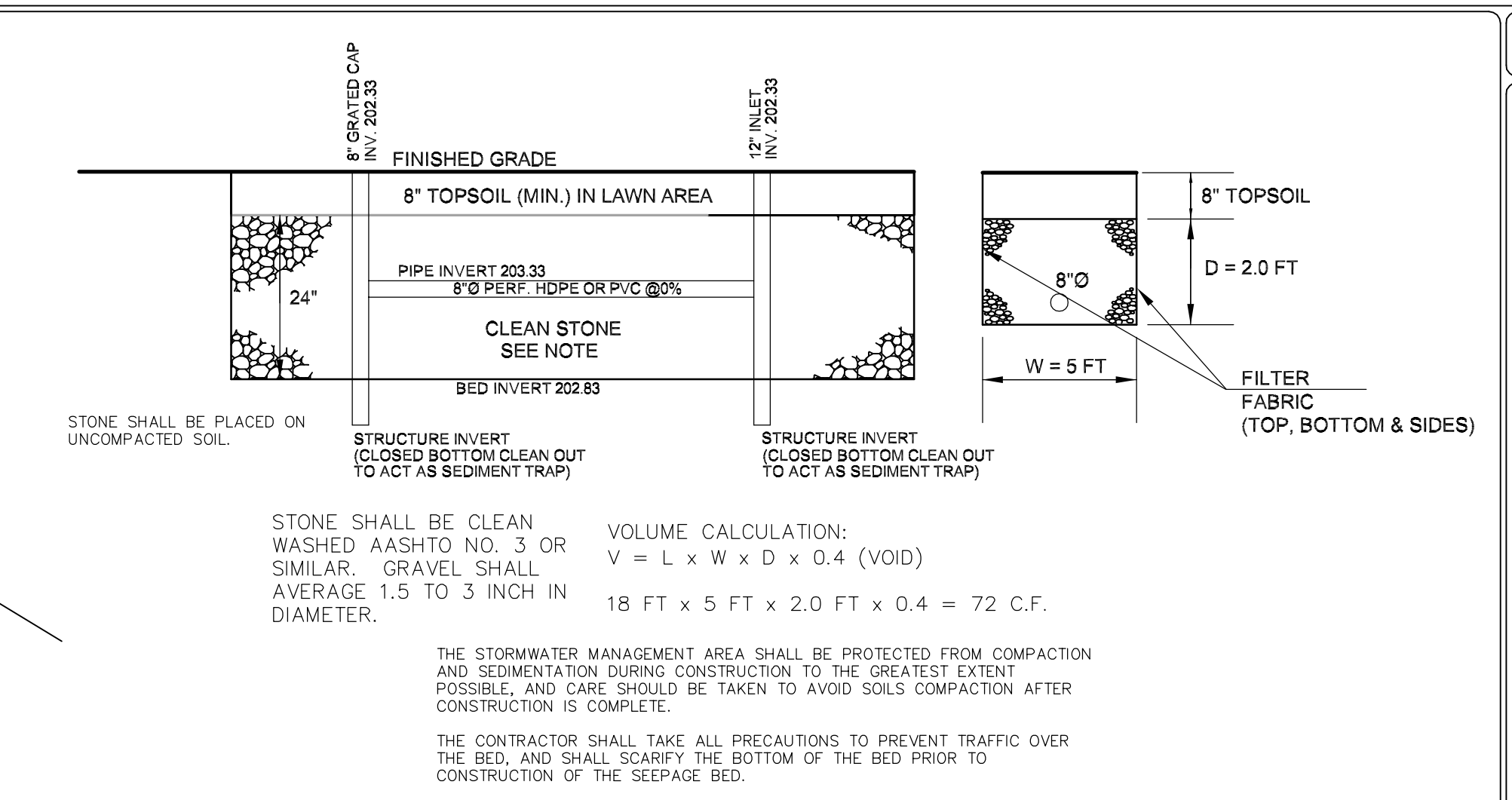
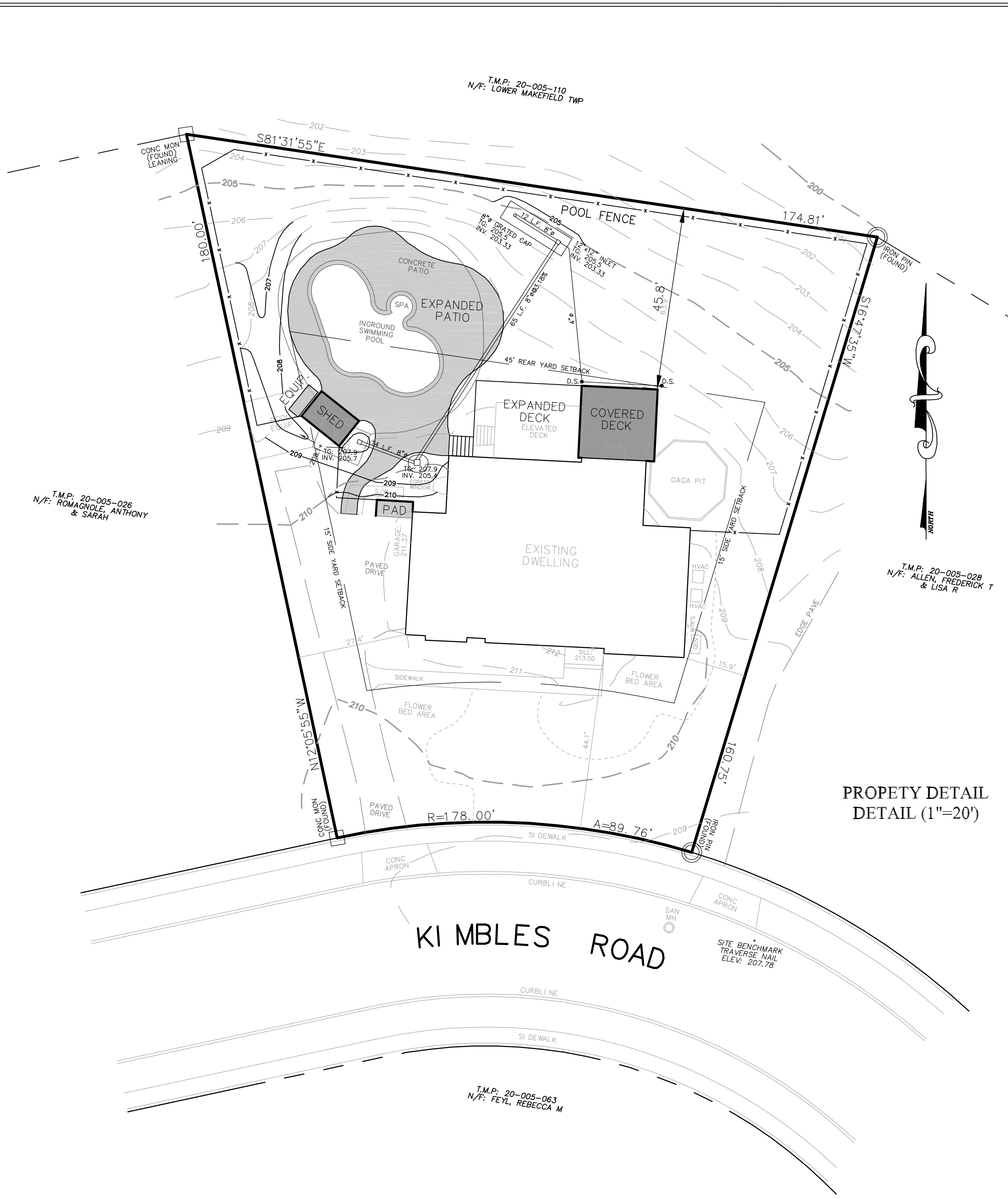
18" MIN. / 24" MAX.

LONG

DEEP x WIDE

ROOF DRAIN TRENCH DETAIL

N.T.S.



STORMWATER BED DETAIL

STONE SHALL BE PLACED ON UNCOMPACTED SOIL.

STONE SHALL BE CLEAN WASHED AASHTO NO. 3 OR SIMILAR. GRAVEL SHALL AVERAGE 1.5 TO 3 INCH IN DIAMETER.

THE STORMWATER MANAGEMENT AREA SHALL BE PROTECTED FROM COMPACTION AND SEDIMENTATION DURING CONSTRUCTION TO THE GREATEST EXTENT POSSIBLE, AND CARE SHOULD BE TAKEN TO AVOID SOILS COMPACTION AFTER CONSTRUCTION IS COMPLETE.

THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PREVENT TRAFFIC OVER THE BED, AND SHALL SCARIFY THE BOTTOM OF THE BED PRIOR TO CONSTRUCTION OF THE SEEPAGE BED.

VOLUME CALCULATION:
 $V = L \times W \times D \times 0.4$ (VOID)
 18 FT x 5 FT x 2.0 FT x 0.4 = 72 C.F.

GENERAL NOTES

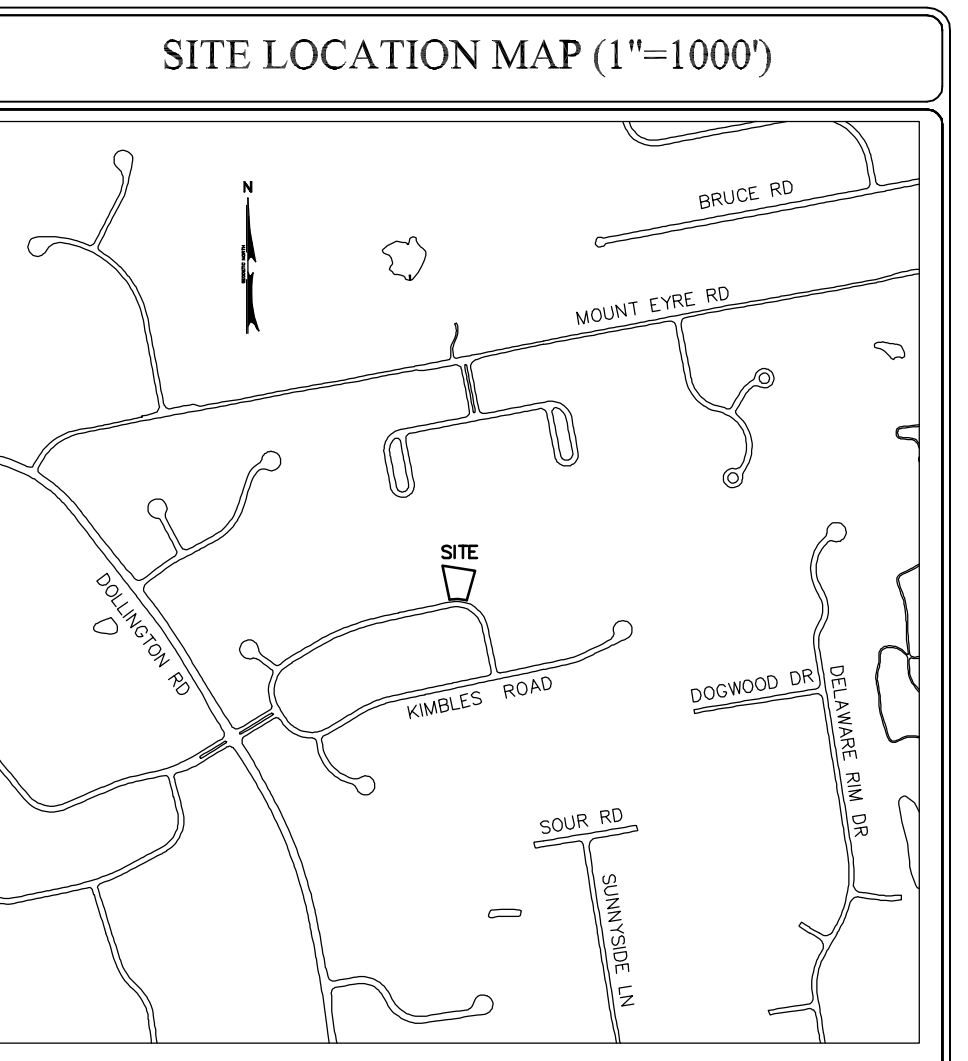
- EXISTING FEATURES AND BOUNDARY INFORMATION IS BASED ON AN ON-SITE SURVEY BY DENNIS M. LITZEMBERGER, PLS PERFORMED IN FEBRUARY 2024.
- EXISTING IMPERVIOUS COVERAGE INFORMATION:

EX. DWELLING:	2,962 S.F.
EX. DRIVEWAY:	1,381 S.F.
EX. WALK:	358 S.F.
EX. POOL SHED:	104 S.F.
EX. POOL DECK:	1,493 S.F.
EX. OTHER:	42 S.F.
TOTAL:	6,340 S.F.
% IMPERVIOUS:	6,340 S.F. / 21,308 S.F. = 29.8%
- POST DEVELOPMENT IMPERVIOUS COVERAGE INFORMATION:

EX. DWELLING:	2,962 S.F.
EX. DRIVEWAY:	1,381 S.F.
EX. WALK:	303 S.F.
EX. OTHER:	42 S.F.
PROP. POOL DECK:	1,563 S.F.
PROP. POOL SHED:	96 S.F.
PROP. COVERED DECK:	342 S.F.
PROP. EQUIP. PAD:	24 S.F.
PROP. PAD:	36 S.F.
TOTAL:	6,749 S.F.
% IMPERVIOUS:	6,749 S.F. / 21,308 S.F. = 31.7%

NET NEW IMPERVIOUS COVERAGE = 409 S.F.

NOTE - PERVIOUS DECK AND POOL WATER SURFACE IS NOT INCLUDED IN IMPERVIOUS CALCULATION
- PROVISION SHALL BE MADE FOR DRAINAGE OF THE POOL AND BACKWASH WATER DISPOSAL. THE USE OF OPEN FIELDS, LAWNS OR DRY WELLS SHALL BE PERMITTED FOR THIS PURPOSE, PROVIDED THAT THEY MEET THE REQUIREMENTS OF THE PENNSYLVANIA DEPARTMENT OF HEALTH. WATER SHALL NOT BE EMPTIED ONTO PUBLIC ROADS OR ADJOINING LAND BELONGING TO OTHERS OR INTO THE PUBLIC SANITARY SEWER SYSTEM.
- THE POOL GATES SHALL BE SELF-CLOSING AND SELF-LATCHING.
- HOUSE WINDOWS AND DOORS THAT EXIT INTO THE POOL AREA SHALL BE ALARMED.
- A POOL FENCE SHALL BE PROVIDED IN THE LOCATION SHOWN ON THE PLANS. THE FENCE SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWNSHIP BUILDING AND ZONING CODES.



TAX PARCEL INFORMATION

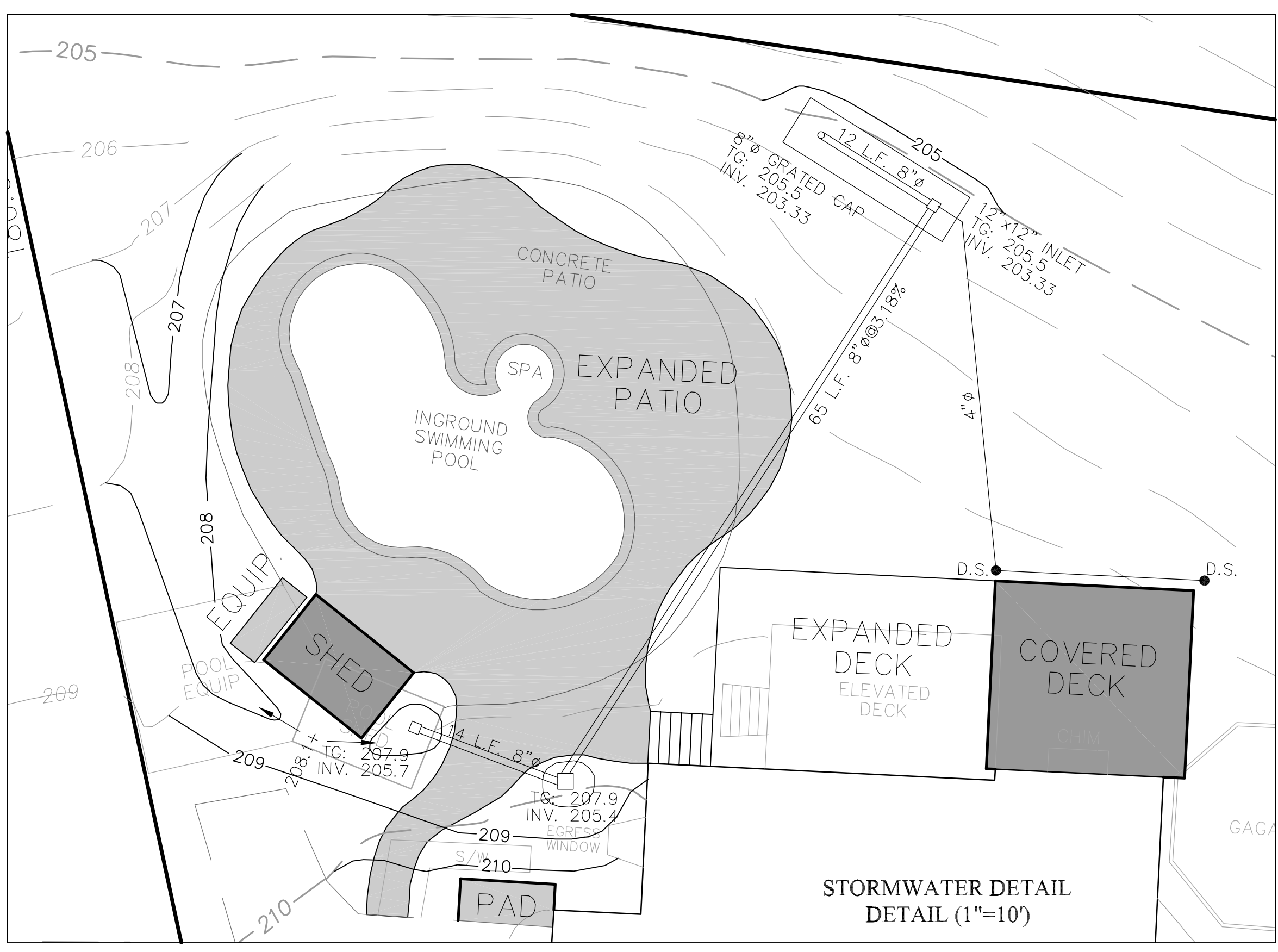
SUBJECT TRACT MAY BE IDENTIFIED BY BUCKS COUNTY TAX INFORMATION AS FOLLOWS:

LOWER MAKEFIELD TOWNSHIP

RECORDED DEED DATA IS AS FOLLOWS:

AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF BUCKS AT DOYLESTOWN PENNSYLVANIA

PARCEL NO.	INSTRUMENT NO.	RECORD OWNER	TRACT AREA
20-005-027	2012082674	JASON M. & LEAH T. HAFT 1054 N KIMBLES RD DOYLESTOWN, PA 18907	21,308 S.F.



STORMWATER DETAIL (1"=10')

STORMWATER NOTES

- Impervious determination:
 Existing Impervious Coverage = 6,340 S.F.
 Proposed New Impervious Coverage = 6,749 S.F.
- Water Volume Control Requirements
 The stormwater controls were designed to accommodate 409 s.f. of new impervious coverage.
 The project qualifies to use the Simplified Method for determining the Water Volume Control Requirement. The following formula was used:
 $V = 2/12 \times \text{Impervious Area} = 2/12 \times 409 = 68 \text{ C.F.}$
 Water Volume Treatment Calculation:
 Treatment of stormwater and recharge runoff from the site will be accomplished by a stormwater/infiltration bed.
 $V = L \times W \times D \times 0.4$ (VOID)
 STORMWATER BED: 18 FT x 5 FT x 2 FT x 0.4 = 72 C.F.
 The project requires 68 C.F. of Water Volume Control. The infiltration bed Provides 72 C.F. of Volume Control. This project conforms to the requirements.

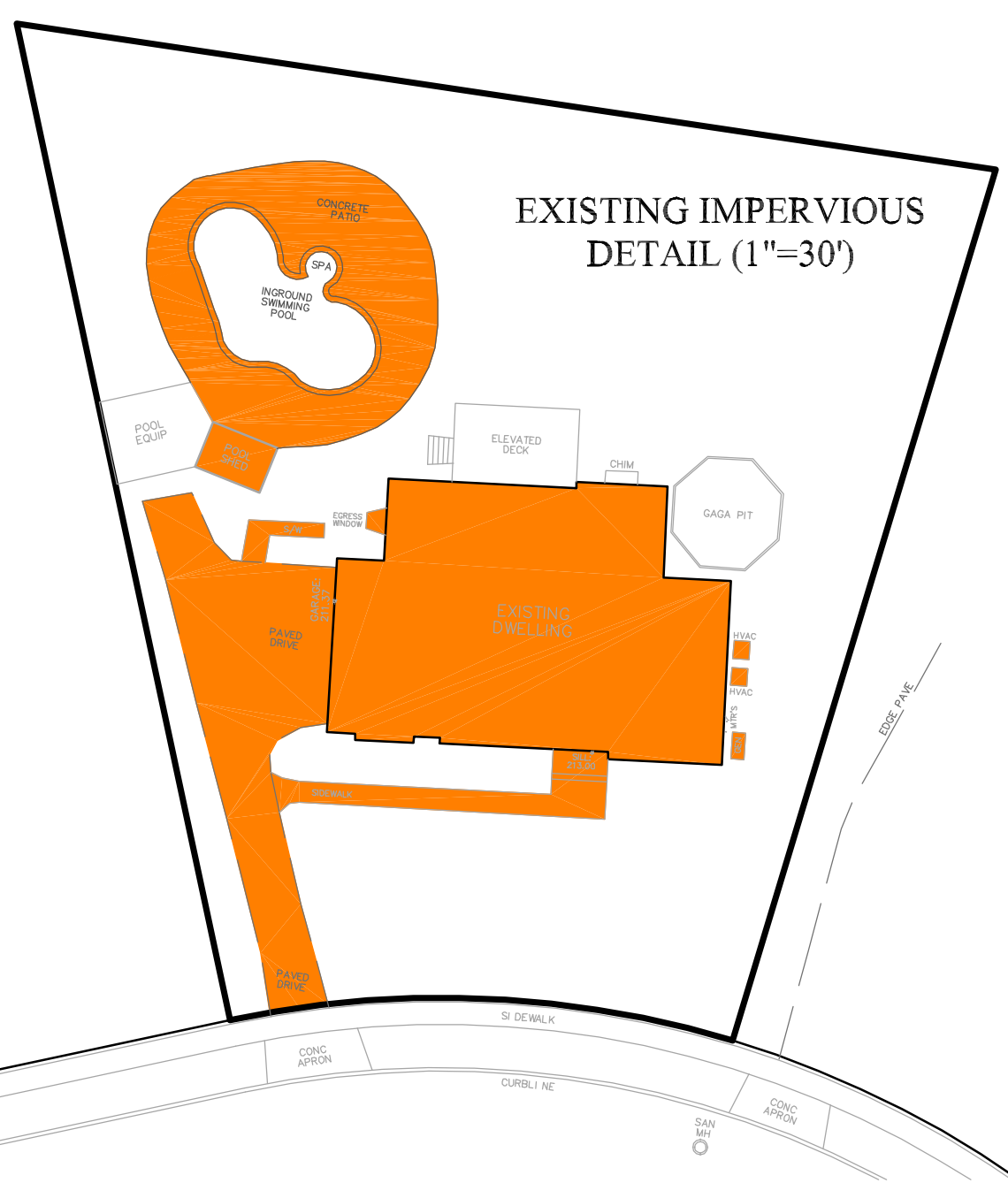
Note - The stormwater beds have been provided to achieve water quality by FILTRATION through the stone bed, and by slowing the rate of runoff from the proposed impervious areas. This design will also provide some thermal improvements by temporarily storing stormwater under ground. Based on the USDA mapped soils data, it is anticipated that INFILTRATION will occur during periods of low seasonal water table, but only a WATER QUALITY benefit will be achieved during periods of high water table.

ZONING DATA

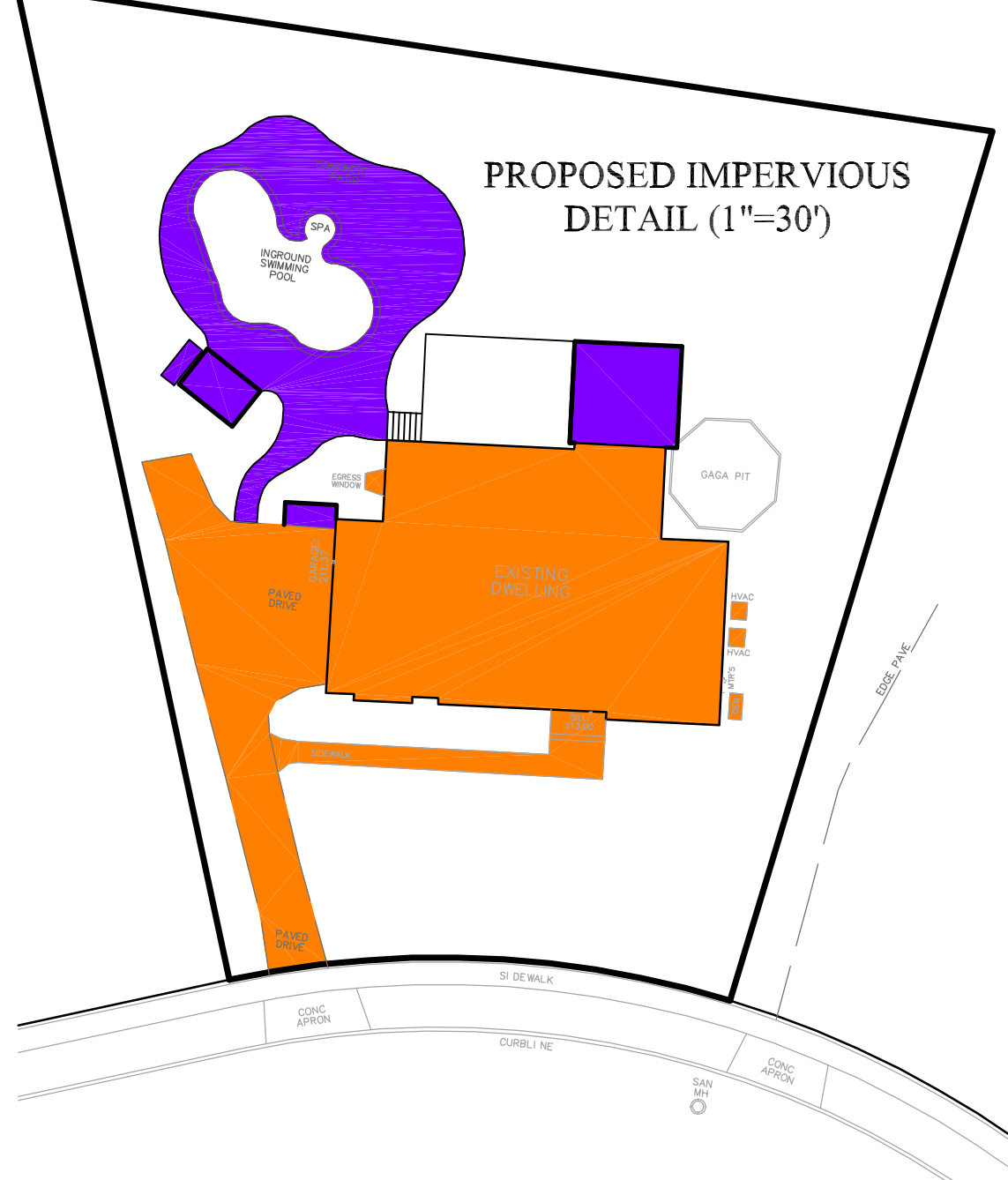
DISTRICT CLASSIFICATION - "R-1"
 RESIDENTIAL, LOW-DENSITY
 PROPOSED USE:
 SINGLE FAMILY DETACHED DWELLING

	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA	16,500 SF	21,308 SF	21,308 SF
MIN LOT WIDTH	100'	107'	107'
MAX IMP. SURF. RATIO	24%	*29.8%	31.7%
MAX BLDG HEIGHT	35'	<35'	<35'
MIN FRONT YARD	35'	44.1'	44.1'
MIN SIDE YARD	15'	27.4' / 15.9'	27.4' / 15.9'
MIN REAR YARD	45'	63.9'	45.8'

* DENOTES EXISTING NON-COMFORMING CONDITIONS



EXISTING IMPERVIOUS DETAIL (1"=30')



PROPOSED IMPERVIOUS DETAIL (1"=30')

INFILTRATION BED CONST. SEQUENCE

- CONSTRUCTION SEQUENCE FOR INFILTRATION TRENCH AND INFILTRATION BED DEPICTED ON THIS PLAN:
- THE INFILTRATION BED SHOULD BE CONSTRUCTED TOWARDS THE END OF THE CONSTRUCTION PERIOD.
 - INSTALL AND MAINTAIN THE E&S CONTROLS DEPICTED ON THE E&S PLAN.
 - THE EXISTING SUBGRADE SHALL BE PROTECTED FROM COMPACTION TO THE GREATEST EXTENT POSSIBLE. THE SEEPAGE BED AREAS SHALL BE SCARIFIED AT THE INVERT DEPTH TO UNCOMPACT THE SOILS.
 - EXCAVATE BED/TRENCH TO REQUIRED DEPTH.
 - INSTALL GEOTEXTILE AND BED AGGREGATE AS WELL AS REQUIRED PIPING AS SHOWN. CLEAN WASHED AGGREGATES SHALL BE PLACED IN THE BED AND LIGHTLY COMPACTED WITH CONSTRUCTION EQUIPMENT KEPT OFF OF THE BED BOTTOM AS MUCH AS POSSIBLE.
 - PLACE TOPSOIL OVER INFILTRATION BED/TRENCH.
 - THE INFILTRATION BEDS SHALL NOT RECEIVE RUNOFF UNTIL THE UPSTREAM DRAINAGE AREA IS STABILIZED. ADDITIONALLY, ALL INLET DEVICES SHALL BE EQUIPPED WITH FILTER FABRIC UNTIL STABILIZATION OCCURS.

SOIL INFORMATION WAS TAKEN FROM THE SOIL SURVEY OF BUCKS COUNTY, PENNSYLVANIA, U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE. THE ENTIRE SITE IS LOCATED IN THE FOLLOWING SOILS TYPE:

A6b - ABBOTTSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES

MAINTENANCE ACKNOWLEDGEMENT

THE STORMWATER FACILITIES (AS SHOWN IN THIS PLAN) ARE A BASIC AND PERPETUAL PART OF THE STORM DRAINAGE SYSTEM OF THE LOWER MAKEFIELD TOWNSHIP, AND AS SUCH ARE TO BE PROTECTED AND PRESERVED IN ACCORDANCE WITH THE APPROVED PLOT PLAN BY THE HOMEOWNER. MAINTENANCE OF THE STORMWATER FACILITY SHALL INCLUDE THE FOLLOWING:

SEMIANNUAL INSPECTION
 EXAMINE TO ENSURE THAT INFLOW AND OUTFLOW DEVICES ARE CLEAR OF DEBRIS AND FUNCTIONAL.

STANDARD MAINTENANCE
 THE VEGETATION OVER THE SEEPAGE BED SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.

I, _____, ACKNOWLEDGE THAT ANY REVISIONS OF THE APPROVED SWM SITE PLAN MUST BE APPROVED BY THE MUNICIPALITY AND THAT THE STORMWATER CONTROLS MUST BE MAINTAINED BY THE PROPERTY OWNER.

OWNER: _____



Plan Origination Date: 08-02-2024

LENAPE VALLEY ENGINEERING
 Civil Engineering • Subdivision • Land Development

P.O. Box 74, Chalfont, Pennsylvania 18914
 Tel (215) 622-1414 Fax (267) 308-0524
 www.LenapeValleyEngineering.com

ZONING PERMIT PLAN

Prepared for:
JASON M. & LEAH T. HAFT
 As part of
1054 N KIMBLES RD

LOWER MAKEFIELD TOWNSHIP
 BUCKS COUNTY
 PENNSYLVANIA

JASON T. SMELAND
 PROFESSIONAL ENGINEER
 PA NO. 059308

PROJECT MANAGER: J.T.S.
 DRAWING SCALE: 1"=20'
 DRAFTED BY: J.T.S.
 PROJECT NUMBER: 2594

SHEET NUMBER: 1 of 2

SEEDING PROCEDURES

SOIL AMENDMENTS FOR PERMANENT SEEDING

MINIMUM STANDARD FOR LIMESTONE AND FERTILIZER (IF A SOIL TEST IS NOT PERFORMED) LIMESTONE SHALL BE APPLIED AT THE RATE OF 6 TONS PER ACRE. FERTILIZER SHALL BE APPLIED AT THE RATE OF 1000 LBS. OF 10-20-20 TO THE ACRE.

GRASS SEED MIX			
PROPORTION BY WEIGHT	NAME OF GRASS	PURITY	GERMINATION
50%	KENTUCKY BLUE GRASS	90%	80%
20%	RED TOP	92%	92%
30%	PERENNIAL RYE GRASS	98%	89%

APPLICATION RATE = 4 LBS. / 1000 SQ. FEET

ALL AREAS WHICH ARE UNPAVED AND UNPLANTED SHALL BE CONSIDERED GRASS AREAS AND BE SEEDING WITH SPECIFIED MIXTURE, EXCEPT THOSE AREAS SPECIFIED FOR SOO PLACEMENT.

SOIL AMENDMENTS FOR TEMPORARY SEEDING

SITE PREPARATION
APPLY 1 TON AGRICULTURAL-GRADE LIMESTONE PLUS FERTILIZER AT THE RATE OF 50-50-50 AND WORK IN WHERE POSSIBLE. AFTER SEEDING, MULCH WITH HAY OR STRAW AT A RATE OF 3.0 TONS PER ACRE.

SEED MIXTURES		LB/ACRE
FOR SPRING SEEDING: (UP TO JUNE 30)		
(A) ANNUAL RYEGRASS, OR		40
(B) SPRING OATS, OR		96 (3 BU)
(C) SPRING OATS PLUS ANNUAL RYEGRASS		96 OATS + 26 RYE
FOR LATE SPRING AND SUMMER SEEDING: (5/15 - 8/15)		
(A) SUDANGRASS, OR		40
(B) ANNUAL RYEGRASS		40
FOR LATE SUMMER AND FALL SEEDINGS: (AUGUST 15 ON)		
(A) ANNUAL RYEGRASS, OR		40 (3 BU)
(B) WINTER RYE, OR		168 (3 BU)
(C) WINTER WHEAT		160 (3 BU)

EARTHWORK STAGING

IN ORDER TO KEEP EROSION AND SEDIMENT POLLUTION DURING CONSTRUCTION TO AN ABSOLUTE MINIMUM, THE FOLLOWING PROCEDURES AND STAGES SHALL BE FOLLOWED:

- PLACE SILT FENCING/ROCK AS DEPICTED ON PLANS AND DOWNSTREAM OF ALL TOPSOIL STOCKPILING AREAS. INSTALL CONSTRUCTION ENTRANCE.
- INSTALL CONSTRUCTION FENCE AROUND SEEPAGE BED AREA. CLEAR AND GRUB PROPOSED CONSTRUCTION AREA OF EXISTING VEGETATION.
- DEMOLISH EXISTING POOL DECK AND STRIP TOPSOIL AS REQUIRED TO ACCOMMODATE NEW POOL DECK. STOCKPILE TOPSOIL AS SHOWN.
- CONSTRUCT PROPOSED POOL AND APPURTENANCES.
- CONSTRUCT SEEPAGE BED, INLETS AND STORM PIPE.
- FINISH GRADE, SEED, MULCH AND LANDSCAPE ENTIRE SITE.
- REMOVE TEMPORARY CONTROL MEASURES AFTER VEGETATION HAS BEEN ESTABLISHED AND STABILIZATION OF THE SITE IS COMPLETE. AREAS DISTURBED DURING THE REMOVAL OF THE CONTROLS MUST BE STABILIZED.

*IF THE EXISTING DRIVEWAY WILL BE USED AS THE CONSTRUCTION ENTRANCE, THE STABILIZED ROCK CONSTRUCTION ENTRANCE MAY BE OMITTED. ALL DIRT AND MUD MUST BE REMOVED FROM VEHICLES PRIOR TO ENTRY ONTO THE PUBLIC CARTWAY.

EROSION CONTROL NOTES

STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET; STOCKPILE SLOPES MUST NOT EXCEED 2:1.

THE OPERATOR/RESPONSIBLE PERSON (O/RP) ON SITE SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.

IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE O/RP SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.

THE O/RP SHALL ASSURE THAT AN EROSION AND SEDIMENT CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE BUCKS COUNTY CONSERVATION DISTRICT AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS REGARDLESS OF THEIR LOCATIONS.

ALL PUMPING OF SEDIMENT-LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER UNDISTURBED AREAS.

A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.

EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.

AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING THE REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.

AT LEAST SEVEN (7) DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, THE O/RP SHALL INVITE ALL CONTRACTORS INVOLVED IN THAT ACTIVITY, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENT CONTROL PLAN DESIGNER AND THE BUCKS COUNTY CONSERVATION DISTRICT TO A PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED IN THAT ACTIVITY SHALL NOTIFY THE PENNSYLVANIA ONE-CALL SYSTEM INC. AT 1-800-242-1776 TO DETERMINE ANY UNDERGROUND UTILITIES LOCATIONS.

IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITY CEASES, THE O/RP SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITY DURING NON-GERMINATING PERIODS. MULCH MUST BE APPLIED AT SPECIFIED RATES. DISTURBED AREAS THAT ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS THAT ARE AT FINISHED GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% (PERCENT) VEGETATIVE OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

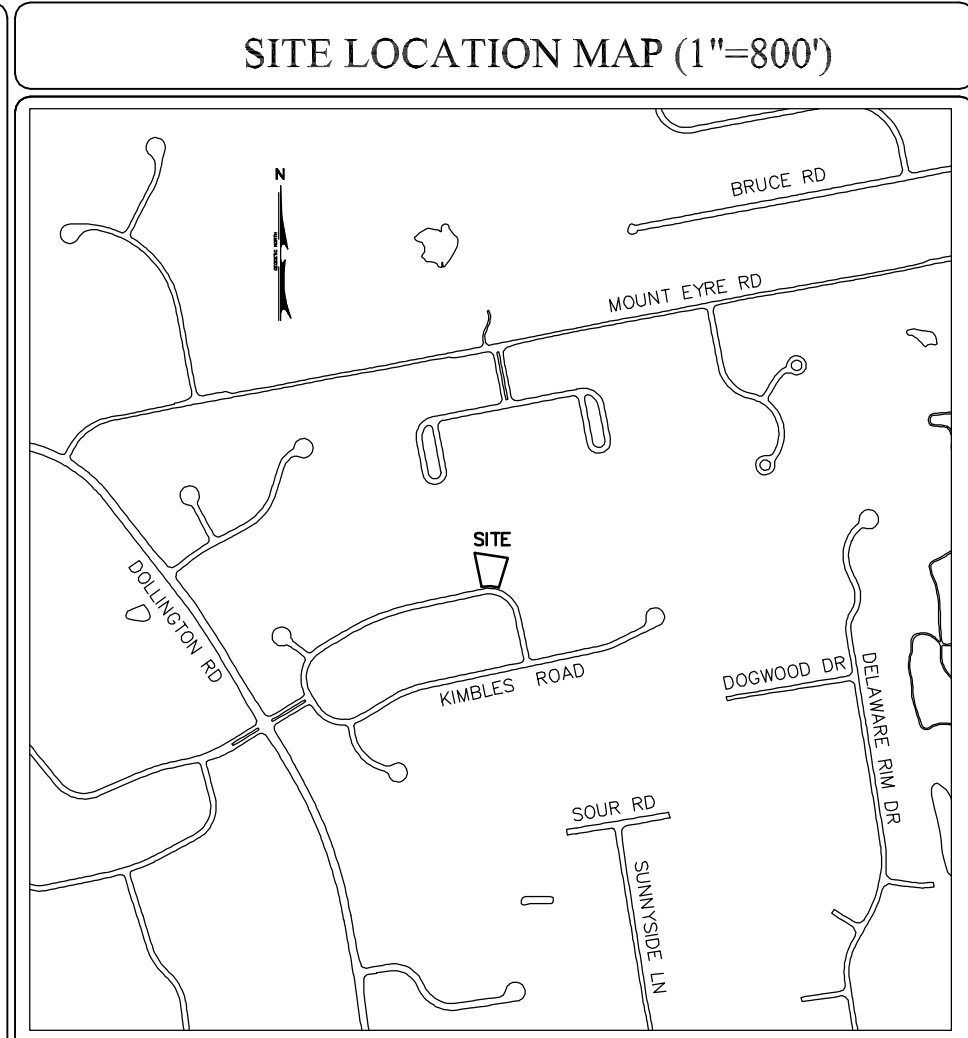
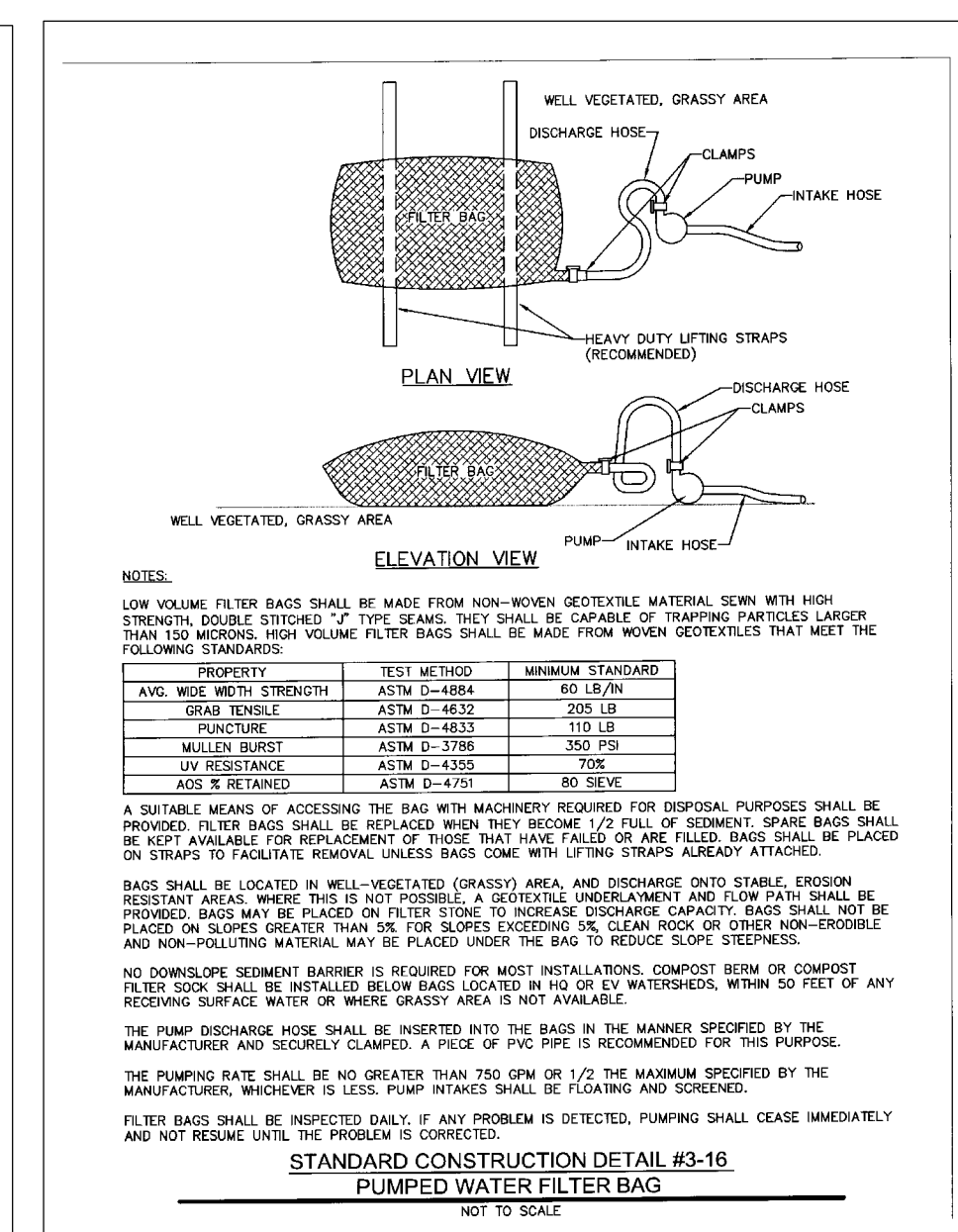
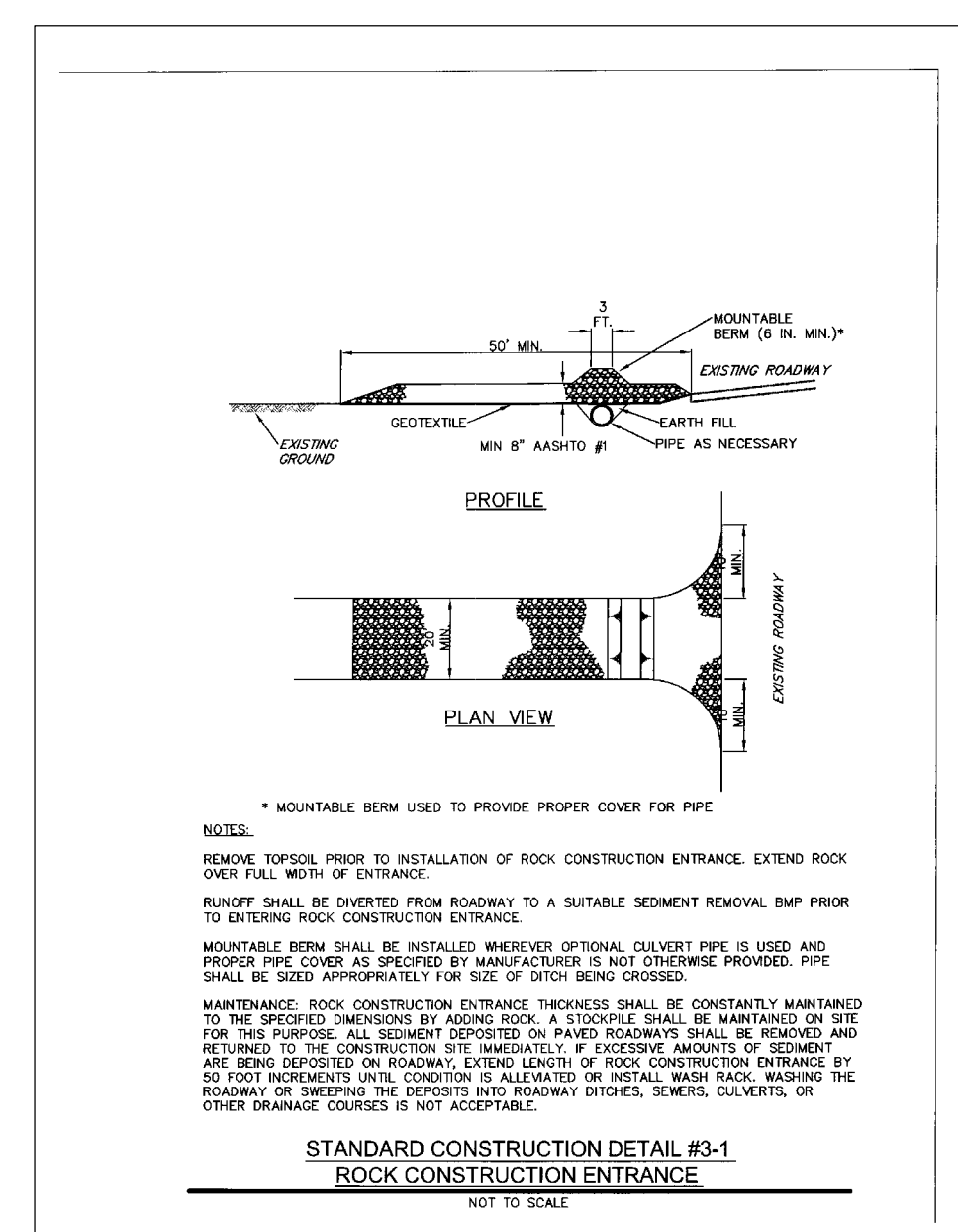
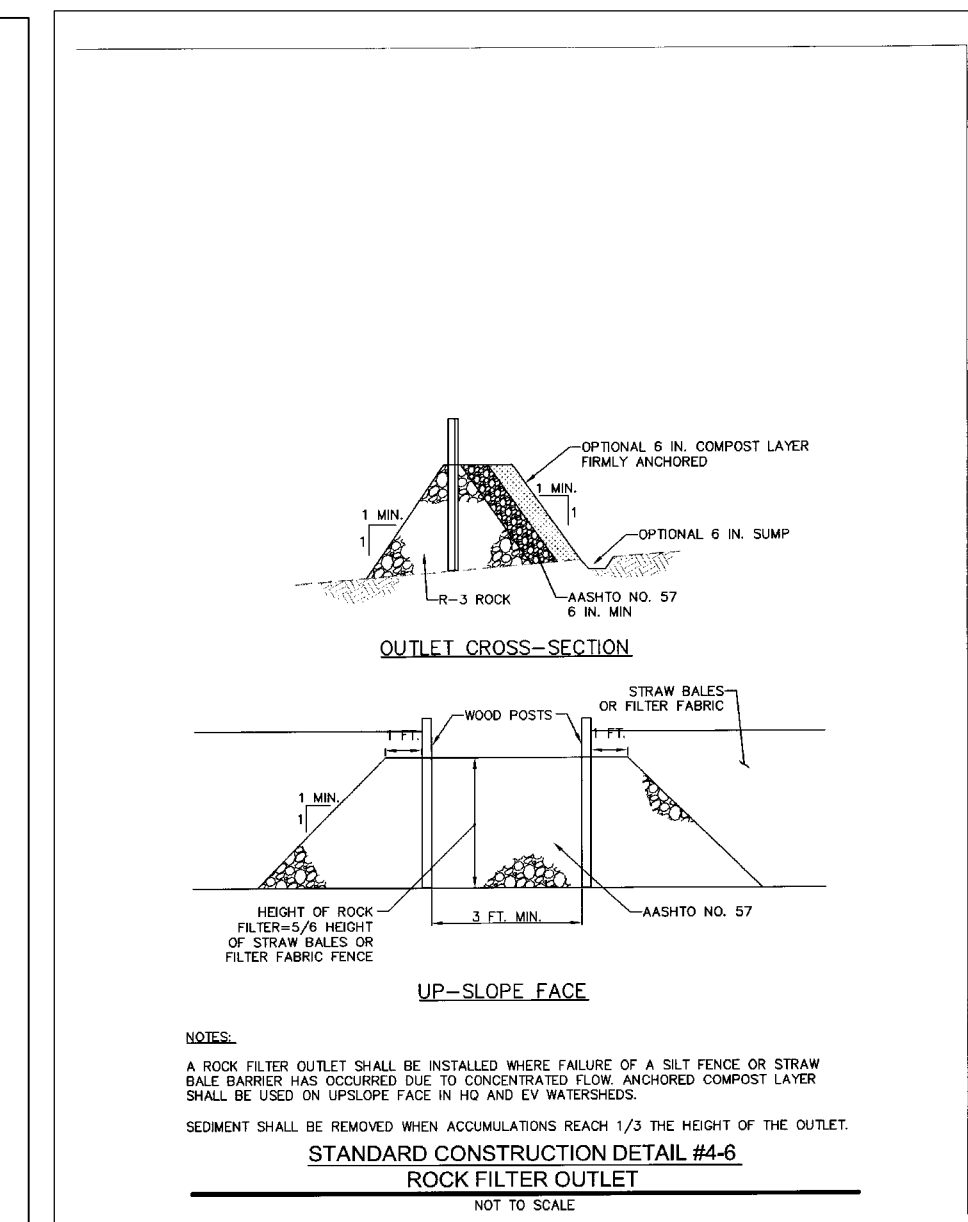
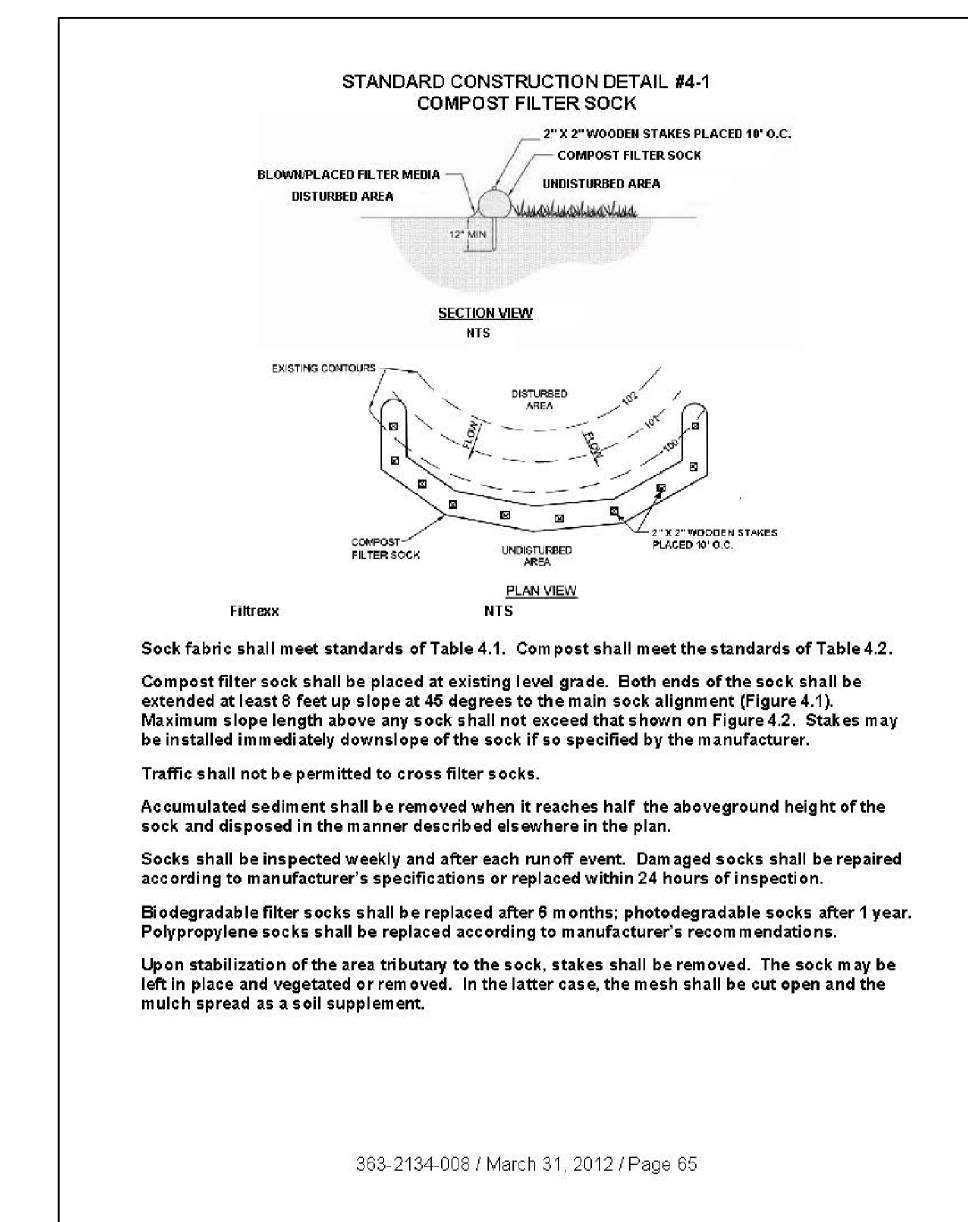
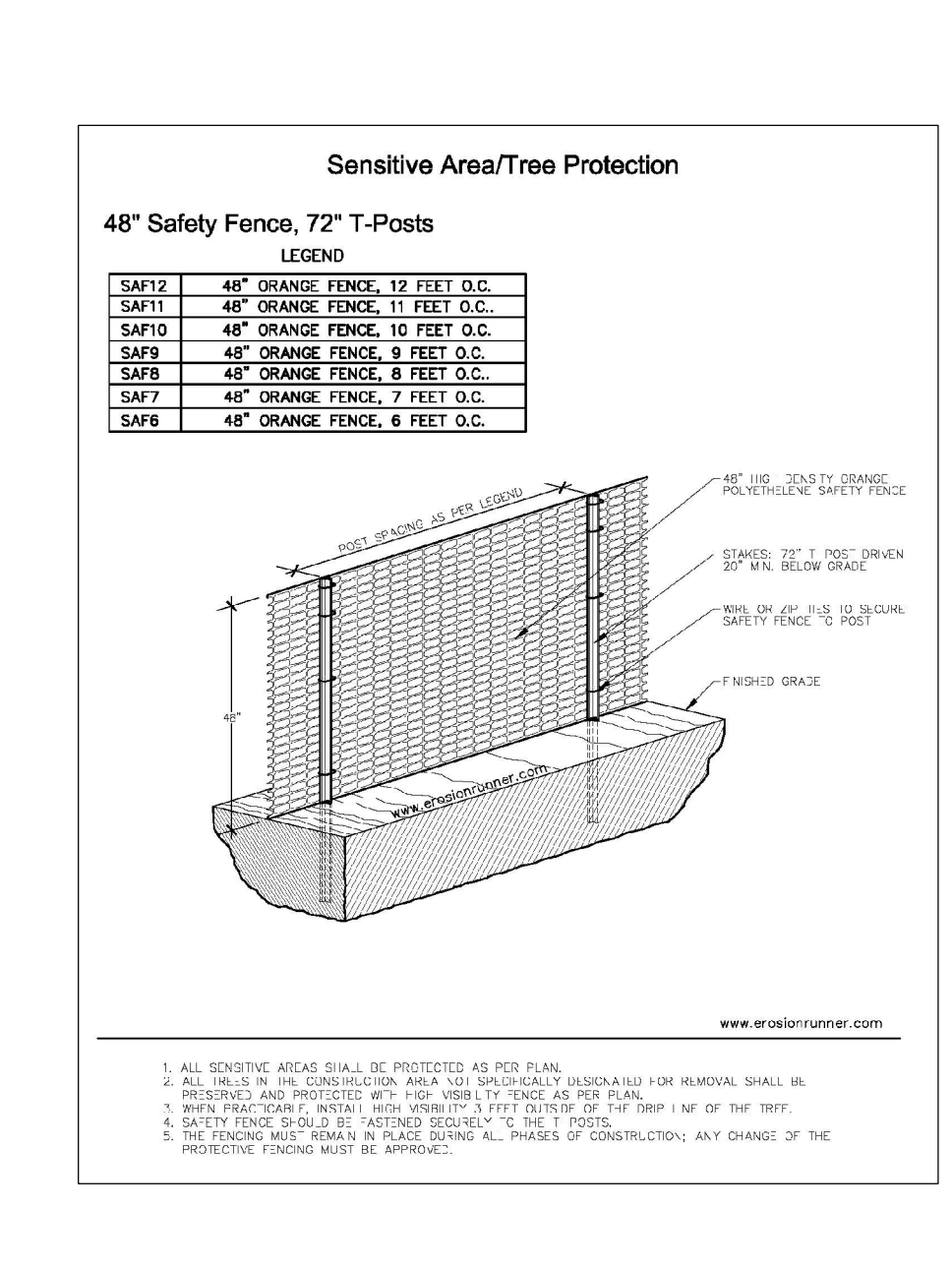
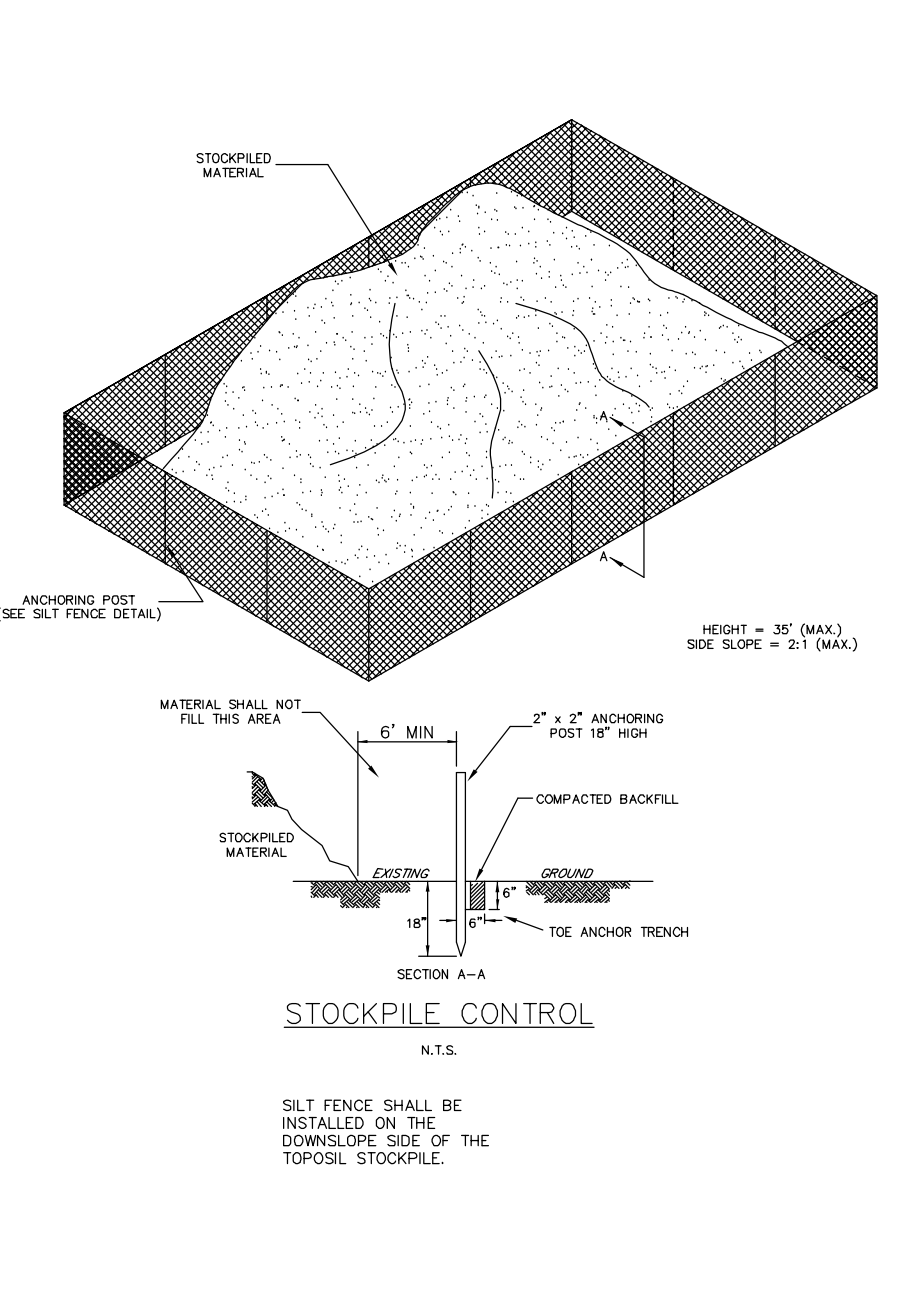
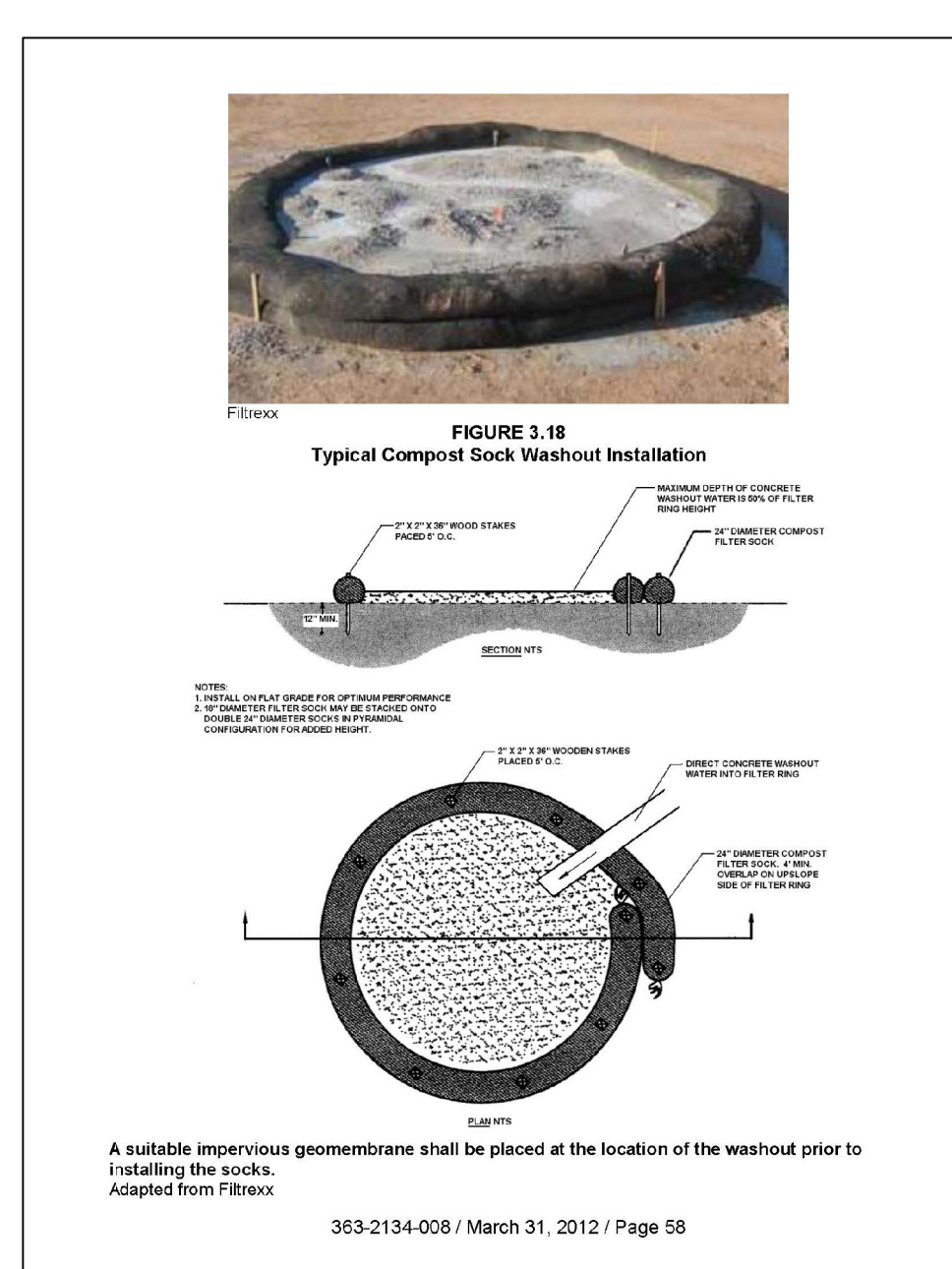
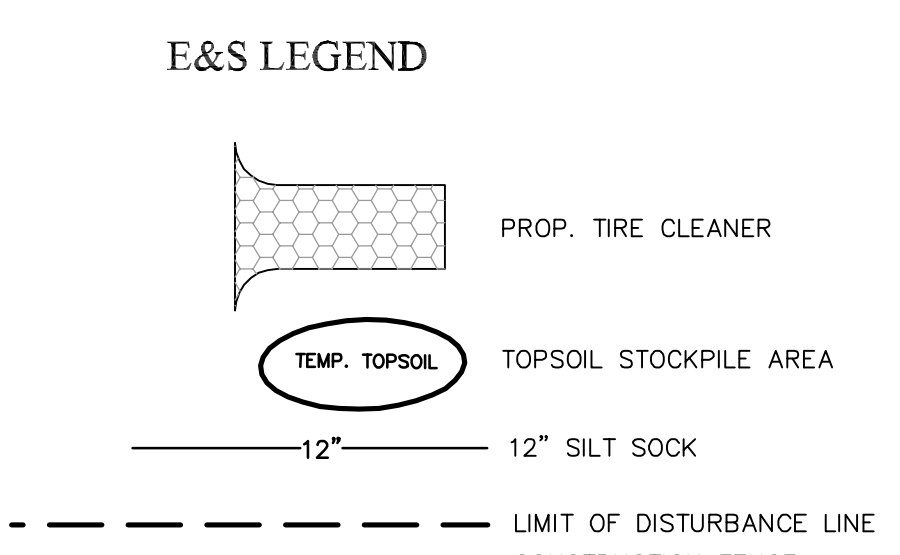
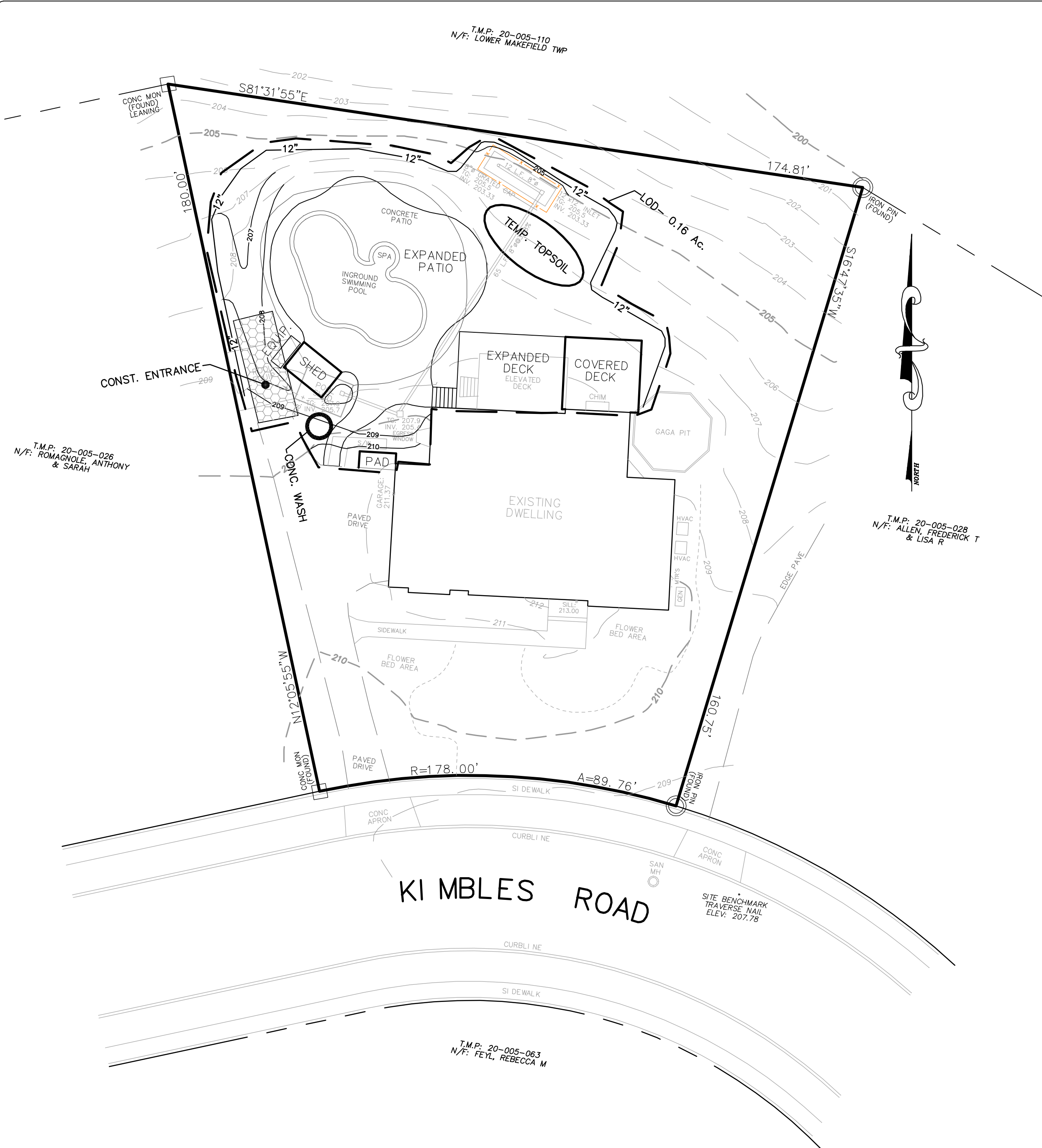
UPON THE INSTALLATION OF TEMPORARY SEDIMENT BASIN RISER(S), A QUALIFIED SITE REPRESENTATIVE SHALL CONDUCT AN IMMEDIATE INSPECTION OF THE RISER(S), WHEREUPON THE BUCKS COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE RISER IS SEALED (WATERTIGHT).

AT STREAM CROSSING, A 50-FOOT BUFFER SHALL BE MAINTAINED ON BUFFERS, CLEARINGS, SOD DISTURBANCES AND EXCAVATIONS, EQUIPMENT TRAFFIC SHOULD BE MINIMIZED. ACTIVITY SUCH AS STACKING LOGS, BURNING CLEARED BRUSH, DISCHARGING RAINWATER FROM TRENCHES, WELDING PIPE SECTIONS, REFUELING AND MAINTAINING EQUIPMENT SHOULD BE AVOIDED WITHIN BUFFER ZONES.

UNTIL A SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.

SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF ON-SITE IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN SOIL STOCKPILES AND STABILIZED.

ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.), AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED AT THE SITE.



TAX PARCEL INFORMATION

SUBJECT TRACT MAY BE IDENTIFIED BY BUCKS COUNTY TAX INFORMATION AS FOLLOWS:

LOWER MAKEFIELD TOWNSHIP

RECORDED DEED DATA IS AS FOLLOWS:

AS RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, ETC., IN AND FOR THE COUNTY OF BUCKS AT DOYLESTOWN PENNSYLVANIA

PARCEL NO.	INSTRUMENT NO.	RECORD OWNER	TRACT AREA
20-005-027	2012082674	JASON M. & LEAH T. HAFT 1054 N KIMBLES RD YARDLEY, PA 19067	21,308 S.F.

THE UNDERGROUND UTILITY LINE PROTECTION LAW (ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996) 1-800-242-1776

SOILS DATA

ATTENTION ALL CONTRACTORS: LOCATIONS OF EXISTING UTILITIES SHOWN HEREON HAVE BEEN DEVELOPED FROM THE UTILITY COMPANY RECORDS AND OR ABOVE GROUND INSPECTION OF SITE. COMPLETENESS OR ACCURACY OF TYPE, SIZE, DEPTH OR HORIZONTAL LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. PURSUANT TO REQUIREMENTS OF PENNSYLVANIA LEGISLATIVE ACT 287 OF 1974 AS AMENDED BY ACT 187 OF 1996, CONTRACTORS MUST VERIFY LOCATIONS OF UNDERGROUND UTILITIES BY NOTIFYING FACILITY OWNERS THROUGH THE ONE CALL SYSTEM, 1-800-242-1776, NO LESS THAN 3 NOR MORE THAN 10 DAYS PRIOR TO EXCAVATION OR DEMOLITION WORK.

SOIL INFORMATION WAS TAKEN FROM THE SOIL SURVEY OF LEHIGH COUNTY, PENNSYLVANIA, U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE.

A&B - ABBOTTSTOWN SILT LOAM, 3 TO 8 PERCENT SLOPES



LENAPE VALLEY ENGINEERING

Civil Engineering • Subdivision • Land Development

P.O. Box 74, Chalfont, Pennsylvania 18914
Tel (215) 622-1414 Fax (267) 308-0524
www.LenapeValleyEngineering.com

Prepared for: **JASON M. & LEAH T. HAFT**

As part of: **1054 N KIMBLES RD**

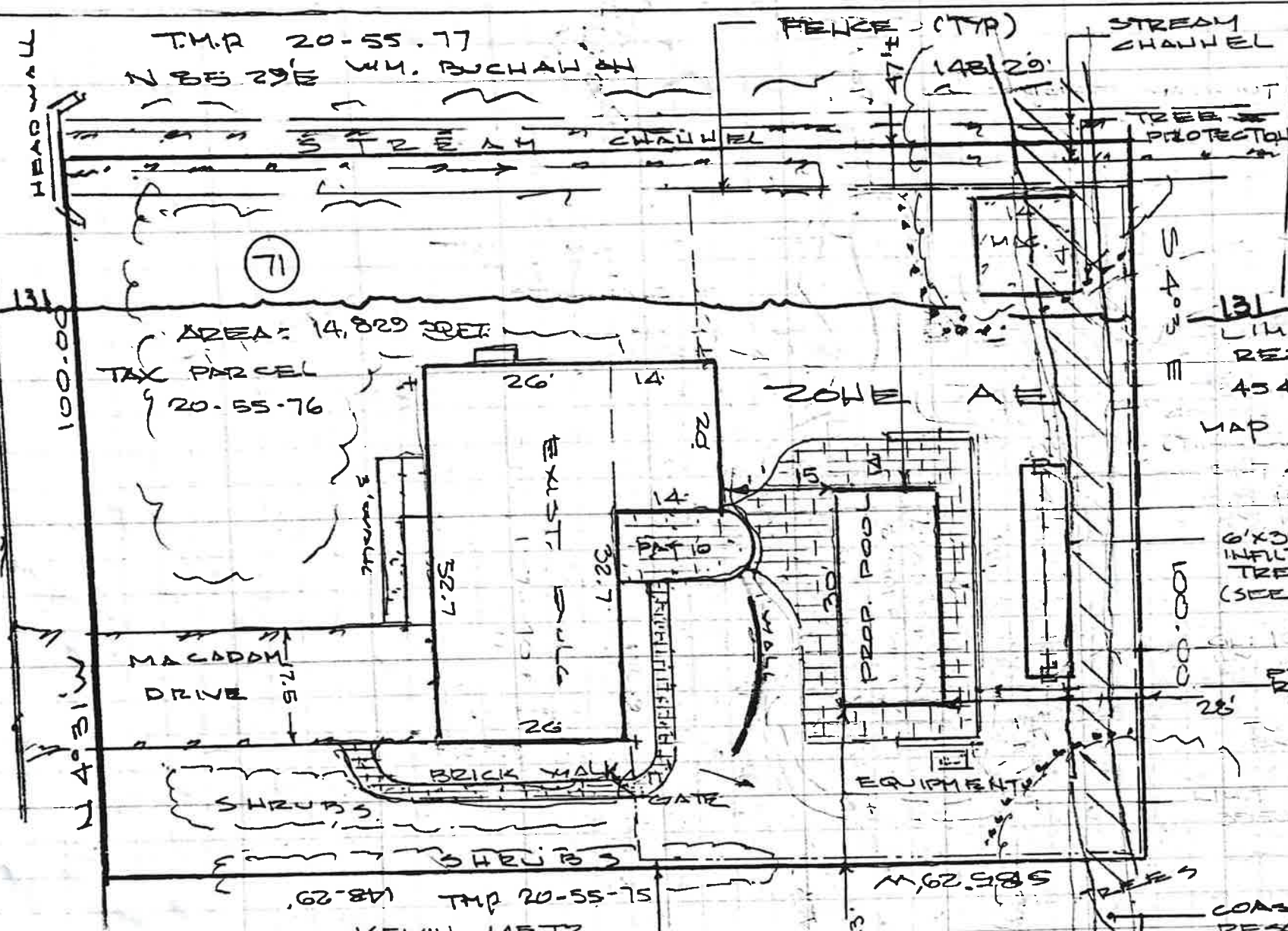
LOWER MAKEFIELD TOWNSHIP
BUCKS COUNTY
PENNSYLVANIA

JASON T. SMELAND
PROFESSIONAL ENGINEER
PA NO. 059908

Plan Origination Date: 08-02-2024

PROJECT MANAGER: J.T.S.
DRAWING SCALE: 1" = 20'
SHEET NUMBER: 2 of 2

DAVID TERRACE (50' R.O.W.)



SOIL TYPE: U13 URBAN LAND
ZONED R-2 PROVIDED
 MIN FRONT YARD - 40' > 40'
 SIDE YARD - 15' > 15'
 MAX IMPERVIOUS 18% 26.3%

20-55-69
 GEORGE BANCARZ

131
 LIMIT OF FLOODPLAIN
 REFERENCE FIRM PANEL
 434 OF 532
 MAP NUMBER 420ITC0454K

LOCATION MAP
 1" = 2000'

PROPOSED FENCE
 MIN. 4' HIGH
 MAX 2' SPACING
 SELF LATCHING / LOCKING GATES
 IRC CODE
 DOOR ALARMS REQUIRED
 ENTIRE POOL TO BE ENCLOSED
 OUTWARD SWINGING GATES

LEGEND
 --- EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 → FLOW
 --- SILT FENCE
 --- LIMIT OF DISTURBANCE
 // // TIRE CLEANING AREA

IMPERVIOUS AREAS	
EXISTING DWELLING	1650
DRIVEWAY:	840
WALKS/PATIOS:	711
SHED/GARAGE:	
TOTAL:	21.0% 3201
PROPOSED DECK	
WALL	
PADS:	700
TOTAL:	26.3% 3901

- NOTES**
- 1) REFERENCE: "PLAN OF LOT 71 SHOWING HOUSE LOCATION", MILFORD MANOR, BY ALTAIR ENGINEERING COMPANY, DATED 4-16-75
 - 2) LIMIT OF DISTURBANCE IS OUTSIDE SILT FENCE
 Plan was prepared without the benefit of a title report and is subject to easements and documents (unrecorded and unrecorded)
- Pool construction and fence installation to comply with Township codes and regulation
- Any damage to the curb and sidewalk to be the responsibility of the owner who will make the necessary repairs
- Grading to remain as current conditions exist. No proposed runoff to reach adjacent properties
- Plan to be used as a pool permit plan only.



KENNETH C. SEELY, P.L.S.
 P.O. BOX 1832
 RIDGELAND, S.C. 29936
 843 271-0737
 turncoldshout@icloud.com

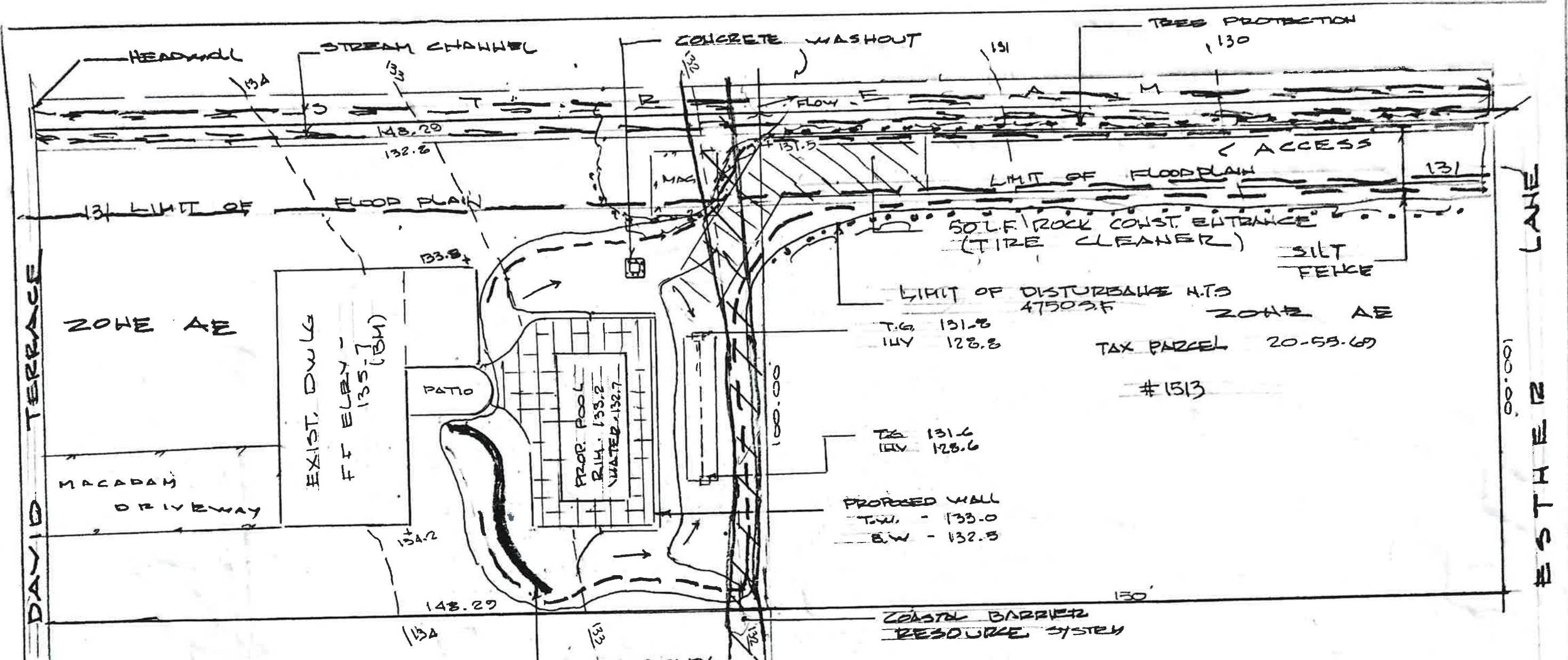
REVISED - 09-07-24 (FLOODPLAN IWB PER ENGR. REVIEW)

ADDRESS
 1514 DAVID TERRACE
 TARDLEY, PA 19067

PREPARED FOR
RICK & HOLLY PURSELL
 LOWER MAKEFIELD TOWNSHIP
 BUCKS COUNTY, PA

SCALE: 1" = 20'
 DATE: 07-20-24

SHEET 1 OF 4
 GRAPHIC SCALE IN FEET



T.G. 131.8
 H.V. 128.8

TAX PARCEL 20-53-69

#1513

T.G. 131.6
 H.V. 128.6

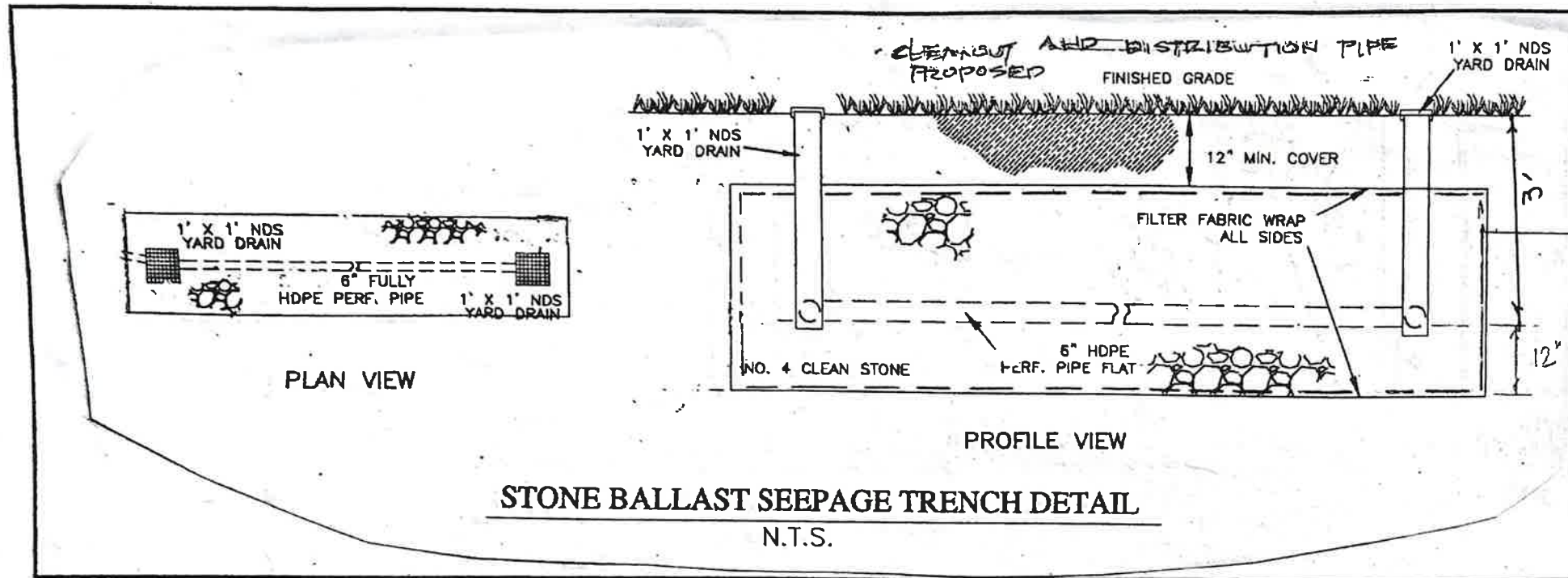
PROPOSED WALL
 T.W. - 133.0
 B.W. - 132.5

DETAIL SHEET

1"=20'
 8-14-24

REVISED 09-07-24 (FLOODPLAIN INFO PER ENGR. REVIEW)

SHEET 4 OF 4



• INLETS TO BE INSTALLED AT BOTH ENDS TO ALLOW ACCESS TO THE PERFORATED PIPE

• GEOTEXTILE MAT TO BE INSTALLED ALL SIDES, TOP, & BOTTOM

• WATER FLOW TO BE DIRECTED TO TRENCH

• MIN. 12" SUMP AT BOTTOM THAT WILL NOT AS A SEDIMENTATION TRAP TO PREVENT THE DISTRIBUTION PIPE FROM CLOGGING WITH SEDIMENT

NOTES

- 1) TRENCH - 3' DEEP, 6' WIDE x 29' LONG
 $1232 \text{ SF} \times 2' \text{ RAINFALL} / 12' \times 4 \text{ VOIDS} = 513.33 \text{ CU. FT}$
 $513.33 / 6" = 85.6 \text{ CF} / 3' = 28.5'$ PROPERTY OWNER TO SIGN A O & M AGREEMENT FOR THE STORMWATER FACILITY
- 2) FENCE TO MEET THE REQUIREMENTS OF PA UNIFORM CONST. CODE AS AMENDED 2015 INTERNATIONAL CODE
- 3) PROVISION OF DRAINAGE OF FOUL AND BACKWASH WATER DISPOSAL TO MEET THE REQUIREMENTS OF THE DEPT. OF HEALTH. WATERS SHALL NOT BE EMPTIED ONTO PUBLIC ROADS OR ADJOINING LANDS OR INTO THE PUBLIC SANITARY SYSTEM
- 4) EXISTING UTILITIES TO BE VERIFIED BEFORE CONSTRUCTION. IF ACCESS IS REQUIRED TO TRAVERSE EXISTING UTILITY LINES, ADEQUATE MEASURES FOR PROTECTION SHALL BE PROVIDED
- 5) UTILITY LIST
 - PECO ENERGY 1-800 841-4141
 - BUCKS COUNTY WATER & SEWER AUTHORITY 215-843-2538
 - AMERICAN WATER 1-800 565-7292

DETAIL SHEET

E.R.S. STANDARD NOTES

PILE HEIGHTS MUST NOT EXCEED 35 FEET; STOCKPILE SLOPES MUST NOT EXCEED 2:1.
 THE OPERATOR/RESPONSIBLE PERSON (O/RP) ON SITE SHALL ASSURE THAT THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED.
 IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENTATION POLLUTION, THE O/RP SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENTATION POLLUTION.
 THE O/RP SHALL ASSURE THAT AN EROSION AND SEDIMENTATION CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE BUCKS COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SPOIL AND BORROW AREAS REGARDLESS OF THEIR LOCATIONS.
 ALL PUMPING OF SEDIMENT-LADEN WATER SHALL BE THROUGH A SEDIMENTATION CONTROL BMP SUCH AS A PUMPED WATER FILTER BAG DISCHARGING OVER UNDISTURBED AREAS.
 A COPY OF THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN MUST BE AVAILABLE ON THE PROJECT SITE AT ALL TIMES.

EROSION AND SEDIMENTATION BMPs MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
 AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION BMP CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.

AT LEAST SEVEN DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, THE O/RP SHALL NOTIFY THE CONTRACTORS INVOLVED IN THAT ACTIVITY, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENTATION CONTROL PLAN PREPARED AND THE BUCKS COUNTY CONSERVATION DISTRICT TO PRE-CONSTRUCTION MEETING. ALSO, AT LEAST THREE DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED IN THAT ACTIVITY SHALL NOTIFY THE PA ONE-CALL SYSTEM, AT 1-800-242-1776 TO DETERMINE ANY UNDERGROUND UTILITIES LOCATION.

IMMEDIATELY AFTER EARTH DISTURBANCE CEASES, THE O/RP SHALL STABILIZE ANY AREAS DISTURBED BY THE ACTIVITY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT SPECIFIED RATES. DISTURBED AREAS THAT ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS THAT ARE AT FINISH GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN ONE YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.

AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70 PERCENT VEGETATIVE OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.

UPON INSTALLATION OF TEMPORARY SEDIMENT BASIN RISER(S), AN IMMEDIATE INSPECTION OF THE RISER(S) SHALL BE CONDUCTED BY A QUALIFIED SITE REPRESENTATIVE. WHEREUPON THE BUCKS COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING THAT THE RISER(S) IS SEALED (WATERTIGHT).

AT STEAM CROSSINGS A 50 FOOT BUFFER SHALL BE MAINTAINED. ON BUFFERS, CLEARINGS, SOIL DISTURBANCES AND EXCAVATIONS, EQUIPMENT TRAFFIC SHOULD BE MINIMIZED. ACTIVITY SUCH AS STACKING LOGS, BURNING CLEARED BRUSH, DISCHARGING RAINWATER FROM TRENCHES, WELDING PIPE SECTIONS, RETUELING AND MAINTAINING EQUIPMENT SHOULD BE AVOIDED WITHIN BUFFER ZONES.

UNTIL A SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION CONTROL BMPs AFTER EACH RAINFALL EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING MUST BE PERFORMED AS EXPECTED. REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.

SEDIMENT REMOVAL FROM BMPs SHALL BE DISPOSED OF ON-SITE IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED OR PLACED IN SOIL STOCKPILES AND STABILIZED.

ALL BUILDING MATERIAL AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ., AND/OR ANY ADDITIONAL LOCAL, STATE OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTES MATERIALS SHALL BE BURNED, BURIED, DUMPED OR DISCHARGED ON SITE.

SEEDING SPECIFICATIONS

TEMPORARY SEEDING

- LIME: 190 LBS/1000 SF
- GROUND LIMESTONE INCORPORATED 4 INCHES INTO SOIL
- FERTILIZER: 25 LBS/1000 SF
- 10-20-20 INCORPORATED 4 INCHES INTO SOIL
- SEED: 1.0 LBS/1000 SF
- ANNUAL RYEGRASS
- MULCH: 140 LBS/1000 SF
- STRAW MULCH
- MINIMUM STANDARD FOR LIMESTONE AND FERTILIZER
- LIMESTONE SHALL BE APPLIED AT A RATE OF 1 TON PER ACRE
- FERTILIZER SHALL BE APPLIED AT A RATE OF:
- NITROGEN: 30 LBS/ACRE AVERAGE
- PHOSPHORUS: 100 LBS/ACRE AVERAGE
- POTASSIUM: 120 LBS/ACRE AVERAGE

PERMANENT SEEDING

- LIME: 190 LBS/1000 SF
- GROUND LIMESTONE INCORPORATED 4 INCHES INTO SOIL
- FERTILIZER: 25 LBS/1000 SF
- 10-20-20 INCORPORATED 4 INCHES INTO SOIL
- SEEDING: LAWN AND MOWED AREAS KENTUCKY BLUEGRASS 30 LBS/AC
- REDTOP 3 LBS/AC
- PERENNIAL RYEGRASS 20 LBS/AC
- TOTAL SEEDING = 53 LBS/AC
- OR
- PENNSYLVANIA FINE FESCUE 40 LBS/AC
- REDTOP 3 LBS/AC
- PERENNIAL RYEGRASS 20 LBS/AC
- TOTAL SEEDING = 63 LBS/AC
- SLOPES OR UNMOWED AREAS CROWN VETCH 25 LBS/AC
- PERENNIAL RYEGRASS 25 LBS/AC
- TOTAL SEEDING = 50 LBS/AC

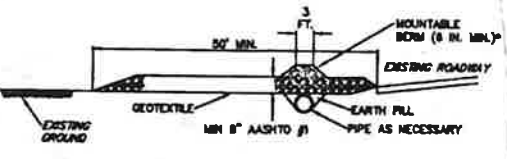
PLANTING DATE: MARCH 1ST TO MAY 15TH, AND AUGUST 15TH TO OCTOBER 1ST.
 MULCH: STRAW AT A RATE OF 140 LBS/1000 SF. MULCH SHALL BE SECURED BY APPROVED METHODS.



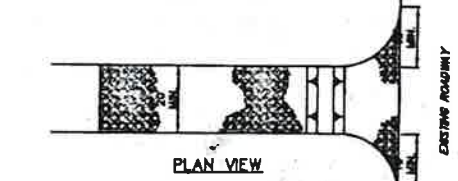
CONSTRUCTION SEQUENCE

- PA ONE CALL TO BE MADE BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
 * INSPECT EROSION AND SEDIMENTATION CONTROLS DAILY ESPECIALLY AFTER HEAVY STORMS.
 * REPLACE AND OR REPAIR EROSION AND SEDIMENTATION CONTROLS AS NECESSARY.
- NOTIFY TOWNSHIP, TOWNSHIP ENGINEER AND BUCKS COUNTY CONSERVATION DISTRICT THREE (3) WORKING DAYS PRIOR TO START OF CONSTRUCTION
- INSTALL SEDIMENT BARRIERS AND CONSTRUCTION ENTRANCE AS SHOWN IN PLAN VIEW
- CLEAR AND GRUB PROPOSED CONSTRUCTION AREA OF EXISTING VEGETATION, STRIP TOPSOIL AND STOCKPILE.
- GRADE REMAINING PORTIONS OF LOT WHICH ARE NECESSARY TO FACILITATE CONSTRUCTION.
- CONSTRUCT PROPOSED STRUCTURES AND APPURTENANCES.
- COMPLETE OTHER SITE IMPROVEMENTS.
- FINAL GRADE ALL DEMOLISHED AREAS AND SPREAD STOCKPILED TOPSOIL AT MINIMUM OF 8". IMMEDIATELY STABILIZE ALL DEMOLISHED AREAS TO REESTABLISH VEGETATION.
- UPON RE-ESTABLISHMENT OF ALL DEMOLISHED AREAS, REMOVE EROSION AND SEDIMENTATION CONTROLS.
- IMMEDIATELY RE-STABILIZE ANY RE-DISTURBED AREAS.

* IF THE EXISTING DRIVEWAY WILL BE USED AS THE CONSTRUCTION ENTRANCE, THE STABILIZED ROCK CONSTRUCTION ENTRANCE MAY BE OMITTED. ALL DIRT AND MUD MUST BE REMOVED FROM VEHICLES PRIOR TO ENTRY ONTO A PUBLIC DRIVEWAY. FAILURE TO DO SO MAY RESULT IN ACTION FROM THE TOWNSHIP TO INSTALL THE STABILIZED ROCK CONSTRUCTION ENTRANCE TO ITS PROPOSED OR FULL LENGTH. WHATEVER IS REQUIRED TO ALLEVIATE THE SITUATION, THE HOMEOWNER CONTRACTOR SHALL MAINTAIN THE DRIVEWAY DURING THE PROJECT TO PREVENT SOIL FROM BEING TRACKED ONTO THE PUBLIC ROADWAY.



PROFILE



PLAN VIEW

* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

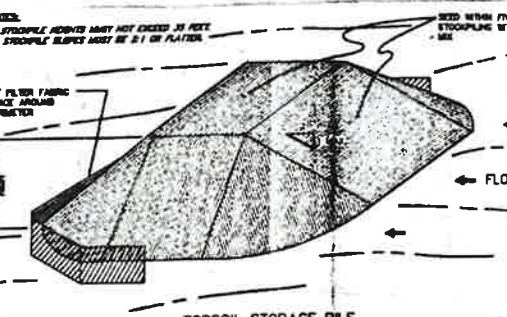
NOTES:
 REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
 RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

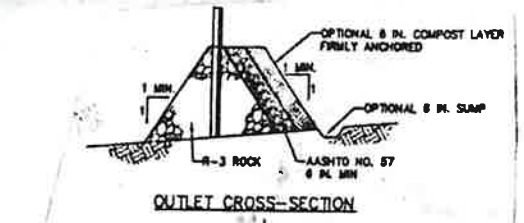
MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**STANDARD CONSTRUCTION DETAIL #3-1
 ROCK CONSTRUCTION ENTRANCE**

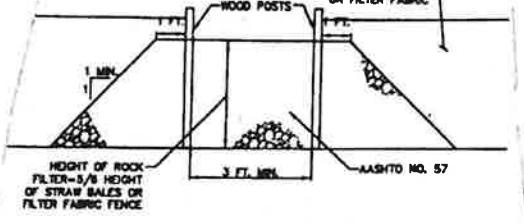
NOT TO SCALE



TOPSOIL STORAGE PILE



OUTLET CROSS-SECTION

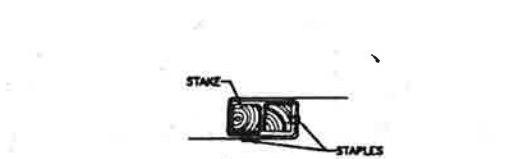


UP-SLOPE FACE

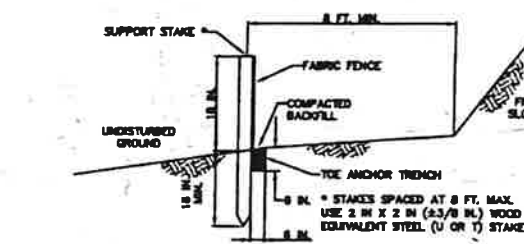
NOTES:
 A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN MO AND EV WATERSHEDS.
 SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

**STANDARD CONSTRUCTION DETAIL #4-8
 ROCK FILTER OUTLET**

NOT TO SCALE



JOINING FENCE SECTIONS



SECTION VIEW

NOTES:
 FABRIC SHALL HAVE THE MINIMUM PROPERTIES AS SHOWN IN TABLE 4.3 OF THE PA DEP EROSION CONTROL MANUAL.
 FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U OR T) STAKES.

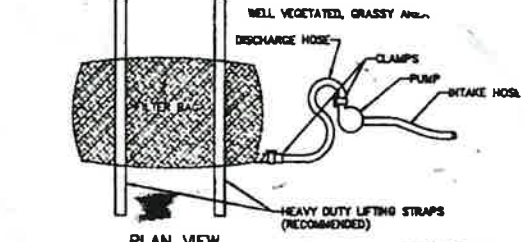
SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.

SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.

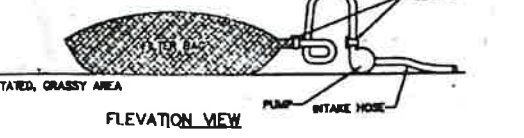
ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET (STANDARD CONSTRUCTION DETAIL #4-8).

**STANDARD CONSTRUCTION DETAIL #4-7
 STANDARD SILT FENCE (18" HIGH)**

NOT TO SCALE

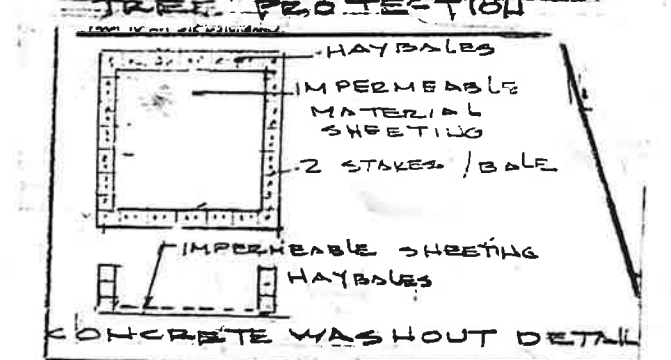


PLAN VIEW



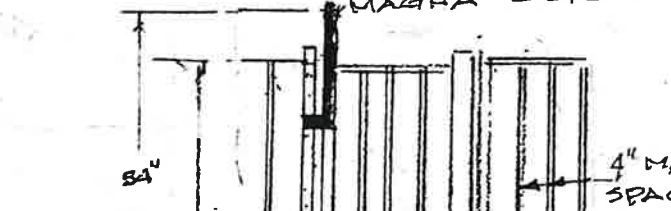
ELEVATION VIEW

FILTER BAG DETAIL

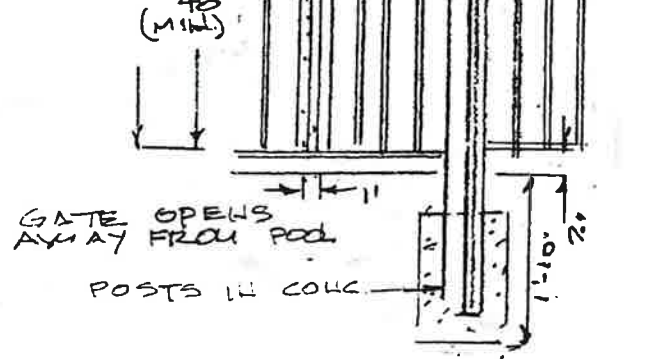


TREE PROTECTION

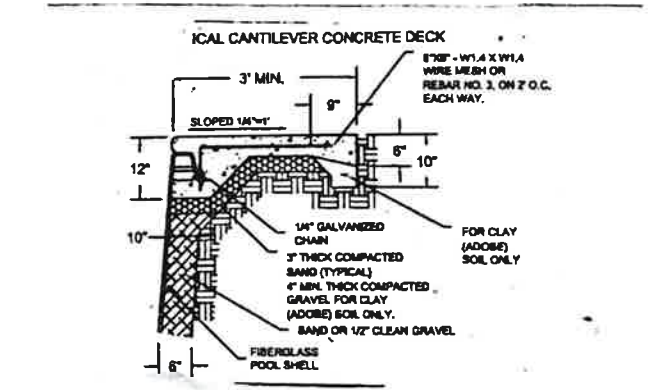
THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE MAINTAINED UNTIL ALL CONSTRUCTION AND WORK HAS BEEN COMPLETE. ANY DAMAGE TO THE PROTECTIVE FENCING SHALL BE REPLACED OR REPAIRED BEFORE FURTHER CONSTRUCTION SHALL BEGIN.



MAGHA LATCH



FENCE DETAIL



CONCRETE DECK DETAIL

DETAIL SHEET