

**777 Township Line - Parking Study (Winter 2023)**

<b>Date:</b>		<b>Time:</b>	<b># of Cars in Lot:</b>	<b>Utilization Rate (based on 550 space capacity)</b>	<b>Time:</b>	<b># of Cars in Lot:</b>	<b>Utilization Rate (based on 550 space capacity)</b>
1/30/2023	Monday	10:00AM	197	36%	2:45PM	190	35%
1/31/2023	Tuesday	12:45PM	250	45%	3:15PM	170	31%
2/1/2023	Wednesday	10:50AM	244	44%	2:36PM	204	37%
2/2/2023	Thursday	11:30AM	210	38%	3:00PM	195	35%
2/3/2023	Friday	10:30AM	192	35%	3:00PM	200	36%

**777 Township Line - Parking Study (Summer 2023)**

<b>Date:</b>		<b>Time:</b>	<b># of Cars in Lot:</b>	<b>Utilization Rate (based on 550 space capacity)</b>	<b>Time:</b>	<b># of Cars in Lot:</b>	<b>Utilization Rate (based on 550 space capacity)</b>
8/7/2023	Monday	11:00AM	180	33%	2:30PM	190	35%
8/8/2023	Tuesday	11:00AM	196	36%	2:40PM	176	32%
8/9/2023	Wednesday	11:20AM	191	35%	2:00PM	185	34%
8/10/2023	Thursday	11:00AM	195	35%	2:00PM	182	33%
8/11/2023	Friday	11:30AM	169	31%	2:10PM	189	34%

**777 Township Line - Parking Study (Summer 2024)**

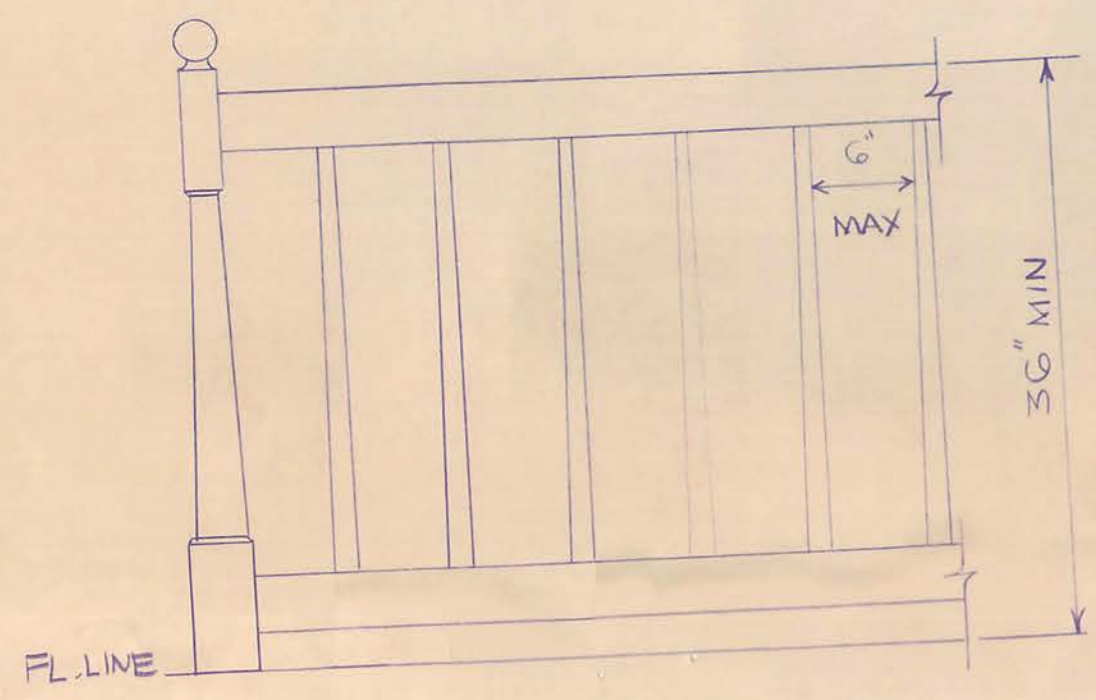
<b>Date:</b>		<b>Time:</b>	<b># of Cars in Lot:</b>	<b>Utilization Rate (based on 550 space capacity)</b>	<b>Time:</b>	<b># of Cars in Lot:</b>	<b>Utilization Rate (based on 550 space capacity)</b>
6/24/2024	Monday	10:30AM	183	33%	2:30 PM	192	35%
6/25/2024	Tuesday	9:00 AM	181	33%	2:45 PM	175	32%
6/26/2024	Wednesday	8:45 AM	148	27%	2:42 PM	195	35%
6/27/2024	Thursday	10:00 AM	207	38%	2:30 PM	180	33%
6/28/2024	Friday	9:30 AM	175	32%	1:00 PM	182	33%



RECEIVED

'89 MAY 17 P2:23

1101 RIVER HAVEN, PA.  
YARDLEY, PA.



LOFT RAIL DETAIL (TYPICAL)  
SCALE: 1"=1'-0"

- NOTE: 1) THIS RAIL COMPLYS WITH BOCA SECTION 827.3 + 827.4.
- A) A SPHERE WITH A DIAMETER OF 6" CANNOT PASS THROUGH ANY OPENING.
  - B) WOOD BALLISTERS SPACED 6" MAX!
- 2) THE DESIGN LOAD COMPLIES WITH SECTION 827.4 BOCA
- 3) TYPE OF LUMBER - # 4205 POPLAR

TYPICAL NOTES

- 1) USE GROUP CLASSIFICATION (B) - BUSINESS
  - 2) TYPE 5-B CONSTRUCTION
  - 3) OCCUPANT LOAD - 5 OR LESS
- 
- 4) FLAME SPREAD RATING
    - A) CARPET CUSHION - 25-FLAMMABILITY ASTM E-89
    - B) CARPET - 1.08 CRITICAL RADIANT FLUX - ASTM-E-648
    - C) WALL + CEILING - PAINT - FLAME SPREAD CLASSIFICATION: 10 AMBRIC TESTING ING
  - 5) THERE WILL BE NO CHANGES TO ANY HVAC SYSTEM IN ANY GIVEN UNIT. THEY WILL BE INSTALLED AS LAST INDICATED!
  - 6) HVAC REGISTERS ARE CEILING MOUNTED AT FIRST FLOOR AND FLOOR MOUNTED AT LOFT. LOFT TOILET AREAS HAVE WALL MTD REGISTERS.
  - 7) SMOKE DETECTOR LOCATIONS ARE SHOWN SCHEMATIC ONLY. EXIST LOCATION MAY BE CEILING OR SIDE WALL MTD ANYWHERE IN THE UNIT AS LONG AS TWO DETECTORS ARE USED A MINIMUM OF ONE DETECTOR ON EACH FLOOR LEVEL.

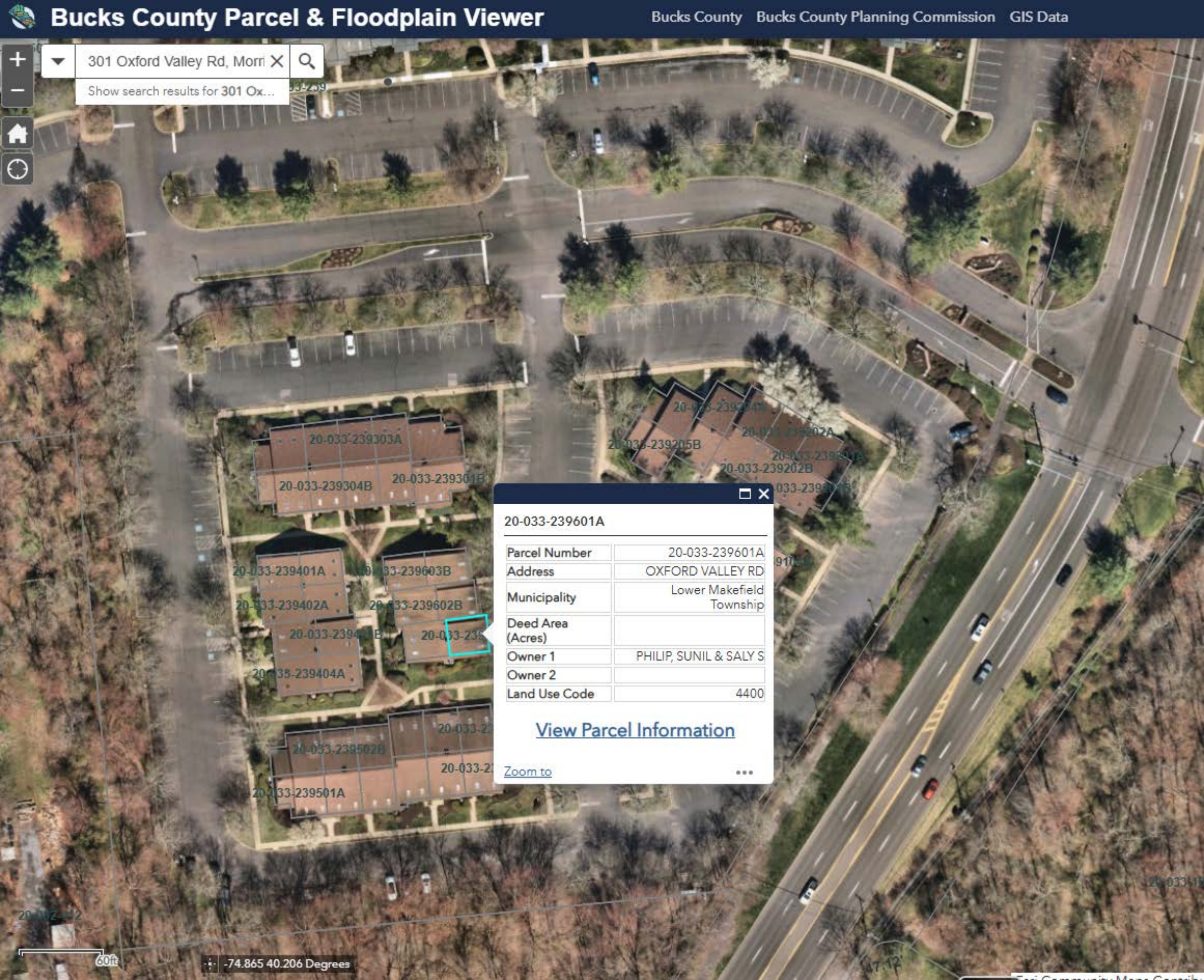
**TOWNSHIP COPY**  
Approved By: [Signature]  
Approval Date: 2/25/89



REV 5/05/89  
REV 10/12/88

WINDMILL CONSTRUCTION CORP.  
TYPICAL LOFT RAIL DETAIL  
SCALE: 1"=1'-0"  
RAIL DESIGNED PER BOCA AS NOTED  
DATE: 2/25/88  
SUITE # 601A

301 Oxford Valley Rd, Morri X  
Show search results for 301 Ox...



20-033-239601A

Parcel Number	20-033-239601A
Address	OXFORD VALLEY RD
Municipality	Lower Makefield Township
Deed Area (Acres)	
Owner 1	PHILIP, SUNIL & SALY S
Owner 2	
Land Use Code	4400

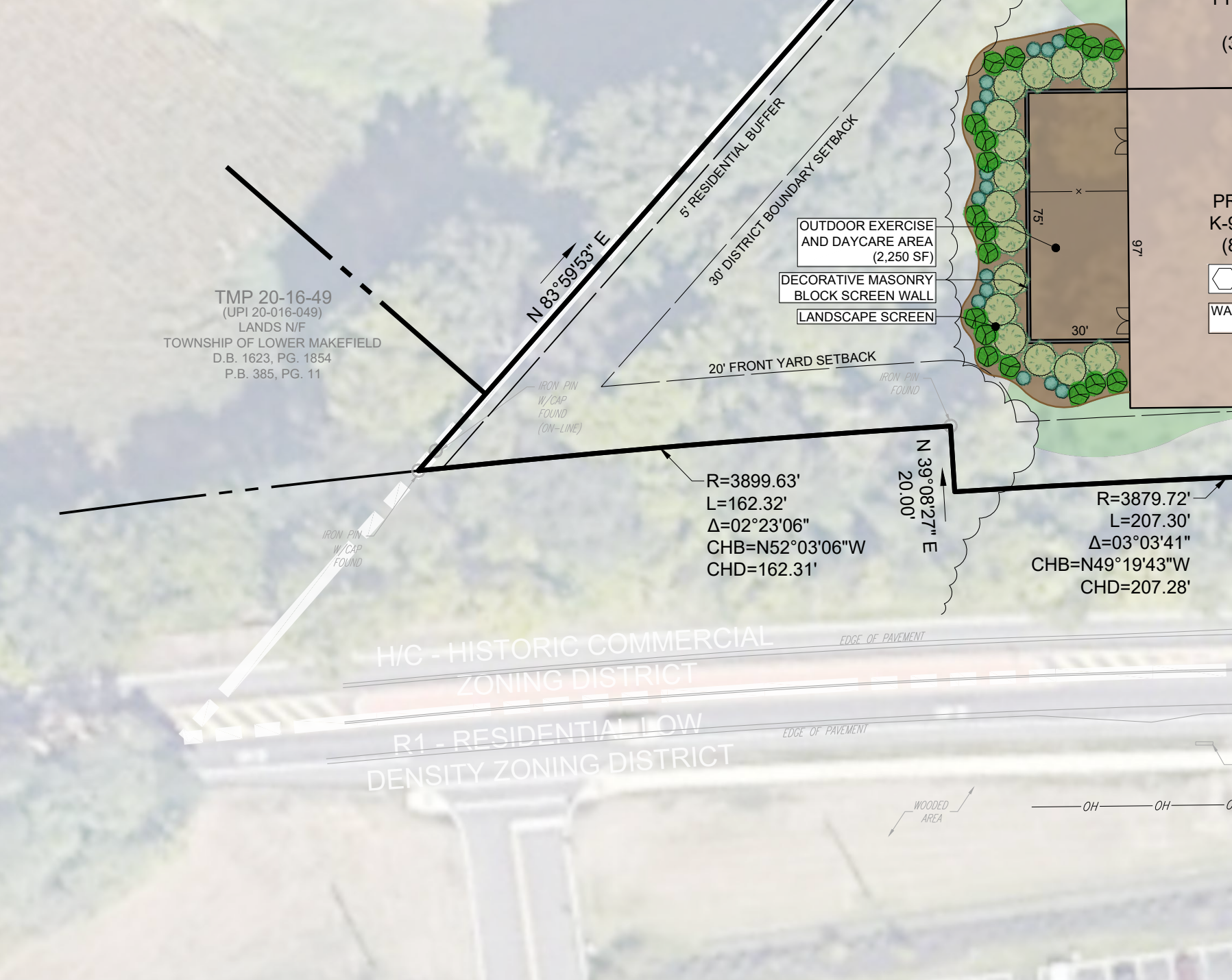
[View Parcel Information](#)

Zoom to ...

BULK REQUIREMENTS						
REQUIREMENT	REQUIRED	EXISTING	PROPOSED (K9 LOT)	PROPOSED (DAYCARE LOT)	PROPOSED (OVERALL TRACT)	SECTION
<b>BUILDING REQUIREMENTS</b>						
MINIMUM GROSS LOT AREA	(SF)	NS	307,393	180,842	126,551	307,393
	(AC)	NS	7,057	4,152	2,905	7,057
MINIMUM NET LOT AREA (S)	(SF)	10,000	162,539	65,288	117,310	162,598
	(AC)	0.23	4,190	1,499	2,693	4,192
MINIMUM LOT WIDTH @ FRONT BLDG LINE	(FT)	75	768.77	348.77	420.00	768.77
<b>MINIMUM YARD SETBACKS</b>						
DISTRICT BOUNDARY	(FT)	30	59.49	58.77	59.49	59.49/58.77
STREET CENTERLINE	(FT)	30	184.1	79.08	184.1	184.1/79.08
STREET RIGHT OF WAY	(FT)	5	122.2	20.0	122.2	122.2/20.0
SIDE YARD	(FT)	5/25 OR 10/10	28.93	209.14	28.93	28.93/209.14
COLLECTOR/ARTERIAL STREET SETBACK	(FT)	20	122.2	20.0	122.2	122.2/20.0
MAXIMUM IMPERVIOUS COVERAGE (4)	(%)	80%	16.4%	14.1%	33.5%	22.1%
	(SF)	245,914	50,416	25,462	42,385	67,847
MAXIMUM BUILDING COVERAGE (AA)	(%)	40%	3.6%	6.4%	9.3%	7.6%
	(SF)	122,957	11,766	11,645	11,766	23,411
MAXIMUM BUILDING HEIGHT	(FT)	35	<35	<35	<35	<35
MINIMUM RESIDENTIAL BUFFER	5' TYPE 1 WITH 5' HIGH SOLID BOARD FENCE		16.33	58.77	16.33	16.33/58.77
MINIMUM PARKING LOT PERIPHERY BUFFER	(FT)	5	14.57	20.74	14.57	14.57/20.74
<b>PARKING REQUIREMENTS</b>						
MINIMUM STALL SIZE(3)	(FT)	10.0 X 20.0	10.0 X 18.0	9.0 X 18.0 (W)	10.0 X 18.0 (EX)	10.0 X 18.0 (EX)
MINIMUM AISLE WIDTH	(FT)	NS	26	24	26	26/24
MINIMUM VEHICLE EQUIPMENT CONTAINER OR WASTE STORAGE SETBACK	(FT)	SAME AS BUILDING SETBACKS		136.92	184.14	184.14/136.92
<b>MINIMUM PARKING SETBACKS</b>						
RESIDENTIAL	(FT)	SAME AS RESIDENTIAL BUFFER	184.14	133.15	184.14	184.14/133.15
MINIMUM/maximum DRIVEWAY OPENINGS AT STREET LINE	(FT)	20 - 35	71.22	95.92 (V)	95.65 (EN)	95.65/95.92 (V)
<b>LOADING SPACE REQUIREMENTS</b>						
MINIMUM LOADING SPACE SIZE	(FT)	12.0 X 4.0	0 (EN)	12.0 X 4.0	12.0 X 4.0	12.0 X 4.0
MINIMUM CLEAR HEIGHT	(FT)	14	>14	0 (EN)	14	14

- (1) COVERAGE = BUILDING SQUARE FOOTAGE / BASE SITE AREA. UNDERGROUND STORMWATER MANAGEMENT OR POROUS PAVEMENT SHALL BE USED.
- (2) SETBACKS FROM RESOURCE-PROTECTED LANDS. ON LOTS WHICH INCLUDE LANDS WITH RESOURCE RESTRICTIONS, THE MINIMUM BUILDING SETBACKS SHALL BE MEASURED FROM THE LIMIT OF THE RESOURCE PROTECTED LANDS RATHER THAN FROM THE LOT LINES SO THAT THE REQUIRED MINIMUM YARD IS FREE FROM RESOURCE RESTRICTED LANDS.
- (3) UNLESS OTHERWISE PERMITTED BY THE BOARD OF SUPERVISORS DURING THE PROCESS OF REVIEWING AND APPROVING A SUBDIVISION/LAND DEVELOPMENT APPLICATION.
- (4) IMPERVIOUS COVER = IMPERVIOUS SURFACE / GROSS LOT AREA
- (5) NET LOT AREA = GROSS LOT AREA - RESOURCE PROTECTION LAND - RECREATION LAND - EASEMENT FOR PIPELINES
- REFERENCES:**
- THE OFFICIAL TAX MAPS OF BUCKS COUNTY, TOWNSHIP OF LOWER MAKEFIELD, COMMONWEALTH OF PENNSYLVANIA.
  - MAP ENTITLED "FIRM FLOOD INSURANCE RATE MAP, BUCKS COUNTY, PENNSYLVANIA (ALL JURISDICTIONS)" PANEL 432 OF 532, MAP NUMBER NO. 420170432, MAP REVISED MARCH 16, 2015.
  - MAP ENTITLED "FINAL PLAN, MINOR SUBDIVISION PLAN PREPARED FOR TAX PARCEL, 20-16-36, DAVID M. & MILDRED R. BROADWAY, LOWER MAKEFIELD TOWNSHIP, BUCKS COUNTY, PA, PREPARED BY J.G. PARK ASSOCIATES, INC. RECORDED 3-26-1986 IN PLAN BOOK 232, PAGE 26.
  - MAP ENTITLED "PATTERSON FARM, MINOR SUBDIVISION/LOT CONSOLIDATION, TOWNSHIP OF LOWER MAKEFIELD, BUCKS COUNTY, PENNSYLVANIA" PREPARED BY REMINGTON, VERNICK & BEACH ENGINEERS, RECORDED 11-9-2011 IN PLAN BOOK 385, PAGE 12.
  - MAP ENTITLED "PRELIMINARY PLAN, RECORD PLAN, EDGEWOOD CROSSING, T.M.P. 20-14-3 & 20-16-36, LOWER MAKEFIELD TOWNSHIP, BUCKS COUNTY", PREPARED BY REI STRUCTURAL & CIVIL ENGINEERING, RECORDED 11-5-2010 IN PLAN BOOK 360, PAGE 77.
  - MAP ENTITLED "EASEMENT PLAN, DEED BOOK 5487, PAGE 1497, LOWER MAKEFIELD TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA", PREPARED BY REMINGTON, VERNICK & BEACH ENGINEERS, DATED 4/2/2012.

PAVEMENT HATCH LEGEND	
	REGULAR DUTY ASPHALT
	POROUS ASPHALT
	CONCRETE



SITE DATA	
<b>PLAN REFERENCE</b>	
PLAN TITLE	ALTA/CASM LAND TITLE SURVEY
DATED:	11/03/2015 REVISED: 11/06/2015
<b>SURVEYOR</b>	
BLUE MARSH ASSOCIATES, INC. 551 EASTON ROAD, SUITE A WARRINGTON, PA 18976 FILE NO. 19-0215-206	
<b>APPLICANT/OWNER OF RECORD</b>	
NAME	MRG STONY HILL, LP
ADDRESS	PO BOX 437 YARLELEY, PENNSYLVANIA 19007
<b>PARCEL DATA</b>	
ADDRESS	748 STONY HILL ROAD TOWNSHIP OF LOWER MAKEFIELD BUCKS COUNTY, PA
TAX MAP NO/ PARCEL ID	TAX MAP NO. 20-16-36-1 / UPI 20-016-036-001
<b>ZONING DATA</b>	
ZONING DISTRICT	H/C - HISTORIC COMMERCIAL ZONING DISTRICT
EXISTING USE	DAYCARE - PERMITTED BY PREVIOUSLY APPROVED VARIANCE
PROPOSED USE	PROPOSED USE: DAYCARE - PERMITTED BY PREVIOUSLY APPROVED VARIANCE PET ROOMING / DAYCARE / ASSOCIATED SERVICES - NOT PERMITTED (V) RETAIL - PERMITTED

# PRELIMINARY NOT FOR CONSTRUCTION

THIS PLAN HAS BEEN PREPARED FOR GENERAL LAYOUT DISCUSSION PURPOSES ONLY AND IS BASED ON LIMITED DUE DILIGENCE AVAILABLE AT THE TIME OF PREPARATION

SITE CAPACITY DETERMINATION (\$200-52.A)				
DESCRIPTION	K9 LOT		DAYCARE LOT	
	ACRES	SF	ACRES	SF
GROSS SITE AREA AS DETERMINED BY SURVEY	4.152	180,842	2.905	126,551
LAND WITHIN STREET & UTILITY TRANSMISSION ROW	0.000	0	0.000	0
RESTRICTED COVENANT & CONSERVATION AREAS	0.000	0	0.000	0
<b>BASE SITE AREA =</b>	<b>4.152</b>	<b>180,842</b>	<b>2.905</b>	<b>126,551</b>
<b>SUBTRACT RESOURCE PROTECTED LAND =</b>	<b>2.653</b>	<b>115,554</b>	<b>0.212</b>	<b>9,241</b>
<b>NET BUILDABLE AREA =</b>	<b>1.499</b>	<b>65,288</b>	<b>2.693</b>	<b>117,310</b>

(AA) PURSUANT TO §200-52 C NET BUILDABLE AREA REGULATION IS NOT APPLICABLE TO THE H/C ZONING DISTRICT THEREFORE MAXIMUM PERMITTED BUILDING COVERAGE IS CALCULATED BASED ON ALLOWABLE BUILDING COVERAGE % X BASE SITE AREA.

PARKING STALL REQUIREMENTS						
USE	REQUIREMENT	EXISTING		PROPOSED		SECTION
		USE REQ	PARKING REQUIRED	USE REQ	PARKING REQUIRED	
DAYCARE CENTER	1 STALL PER TEACHER/EMPLOYEE PLUS 1 STALL PER 3 PUPILS	30 EMPLOYEES 194 CHILDREN	94.7	30 EMPLOYEES 194 CHILDREN	94.7 REQUIRED 56 EXISTING (EX)	\$200-70 A
PET ROOMING / DAYCARE / ASSOCIATED SERVICES	1 STALL PER EMPLOYEE PLUS 1 STALL PER 8 ANIMALS OF CAPACITY	--	--	10 EMPLOYEES 125 DOGS	25.62 REQUIRED 20 PROPOSED (V)	
RETAIL	1 STALL PER 150 SF OF NET RETAIL FLOOR SPACE	--	--	--	22.87 REQUIRED 14 PROPOSED (V)	
<b>REQUIRED PARKING</b>		<b>TOTAL</b>	<b>94.7</b>	<b>TOTAL</b>	<b>142.9</b>	
<b>PARKING PROVIDED</b>		<b>USE</b>	<b>95</b>	<b>USE</b>	<b>142</b>	
			<b>56 (EX)</b>		<b>90 (V)</b>	

LOADING STALL REQUIREMENTS						
USE	REQUIREMENT	EXISTING		PROPOSED		SECTION
		USE REQ	LOADING REQUIRED	USE REQ	LOADING REQUIRED	
NON-RESIDENTIAL	1 STALL FOR EACH BUILDING 6,000 - 20,000 SF	--	1.0	--	0.0	\$200-80
<b>REQUIRED LOADING</b>		<b>TOTAL</b>	<b>1.0</b>	<b>TOTAL</b>	<b>0.0</b>	
<b>LOADING PROVIDED</b>		<b>USE</b>	<b>1</b>	<b>USE</b>	<b>0</b>	
			<b>0 (EX)</b>		<b>0 (V)</b>	

NATURAL RESOURCE PROTECTION TABLE (§200-51.B & 200-52.B.1)					
RESOURCE	RESOURCE PROTECTION RATIO	K9 LOT		DAYCARE LOT	
		RESOURCE AREA (SF)	RESOURCE PROTECTION AREA (AREA X RATIO)	RESOURCE AREA (SF)	RESOURCE PROTECTION AREA (AREA X RATIO)
FLOODPLAINS	100%	0	0	0	0
FLOODPLAIN SOILS ABUTTING DELAWARE RIVER	50%	0	0	0	0
POND (NATURAL OR MANMADE) AND POND SHORELINES (A)	100%	0	0	0	0
WETLANDS OR WATERS OF COMMONWEALTH (B)	100%	0	0	0	0
WETLAND/WATERCOURSE BUFFER	100%	0	0	0	0
STEEP SLOPE (8%-14.99%)	50%	0	0	0	0
STEEP SLOPE (15%-24.99%)	30%	0	0	0	0
STEEP SLOPE (25%+)	100%	0	0	0	0
WOODLAND (C)	70%	165,077	115,554	13,202	9,241
<b>TOTAL ACRES OF RESOURCE PROTECTION LAND</b>		<b>165,077</b>	<b>115,554</b>	<b>13,202</b>	<b>9,241</b>

(A) NATURAL OR MANMADE WATER AREAS INCLUDING RETENTION OR DETENTION BASINS OF 20,000 SQUARE FEET OR GREATER AND ALL AREAS WITHIN 50 FEET OF THE EDGE OF THE WATER MEASURED FROM THE MEAN WATER LEVEL.

(B) PURSUANT TO THE USDA NRCS WEB SOIL SURVEY, THE FOLLOWING SOILS ARE NOT PRESENT ON THE PROPERTY: 80 BOWMANVILLE SILT LOAM, HA HATBORO SILT LOAM, FA FALLSINGTON, DO DOVLESTOWN, TOA TOWHEE AND TOB TOWHEE STONY.

(C) A WOODLAND IS ONE-QUARTER ACRE OR MORE OF WOODED LAND WHERE THE LARGEST TREES MEASURE AT LEAST SIX INCHES DIAMETER AT A HEIGHT OF 4.5 FEET FROM THE GROUND AND THE ASSOCIATED INTERMEDIATE LAYERS IN THESE AREAS, INCLUDING THE UNDERSTORY SHRUBS AND SMALLER TREES, THE GROUND LAYER OF HERBACEOUS PLANTS AND THE FOREST FLOOR. THE WOODLAND SHALL BE MEASURED FROM THE DRIFLINE OF THE OUTER TREES. WOODLANDS ARE ALSO A GROVE OF TREES FORMING ONE CANOPY WHERE 10 OR MORE TREES MEASURE AT LEAST 10 INCHES IN DIAMETER AT A HEIGHT OF 4.5 FEET ABOVE THE GROUND.

(D) THE BOARD MAY CONSIDER THE EXTENT TO WHICH THE STEEP SLOPE IS MAN-MADE RATHER THAN NATURAL AND WHETHER ITS DISTURBANCE WILL FACILITATE, IN THE OPINION OF THE BOARD, THE OPTIMAL DESIGN FOR THE DEVELOPMENT OF THE PROPERTY (§200-51.(B)(5)(i)(5)).

PHILADELPHIA, PENNSYLVANIA 19101 - 06583  
PHONE 215-836-2510  
LANDCORECONSULTING.COM

NOT FOR CONSTRUCTION

PROJECT No. 150064  
FILE CC4  
DRAWN BY A. RODRIGUEZ  
CHECKED BY R. WHITMORE

DATE 2023-09-26

REV.	DATE	REVISION
4	2024-01-04	REVISED FOR ADDITION OF RETAIL SPACE
3	2023-11-20	PER CLIENT'S COMMENTS
2	2023-11-08	PER TENANT COMMENTS
1	2023-10-20	PER CLIENT'S COMMENTS

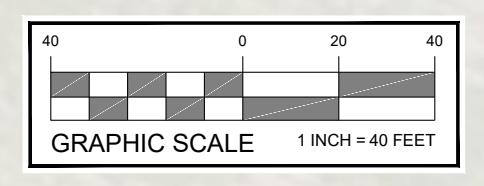
PROPOSED COMMERCIAL DEVELOPMENT  
748 STONY HILL ROAD  
LOWER MAKEFIELD TOWNSHIP,  
BUCKS COUNTY, PA

APPLICANT  
RONCO DEVELOPMENT, INC.

TITLE  
CONCEPT PLAN C

## STONY HILL ROAD

(A.K.A. S.R. 2065) (A.K.A. L.R. 09134)  
(A.K.A. NEWTOWN-FALLSINGTON ROAD)  
(VARIABLE WIDTH R.O.W.) (PUBLIC ROADWAY)  
(ASPHALT ROADWAY)





 K9 RESORTS



FLOOD NOTE: By graphic plotting only, this property is located in ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) of the Flood Insurance Rate Map, Map No. 42017C0432J, which bears a revised date of MARCH 16, 2015. By telephone you can call the National Flood Insurance Program at (1-800-638-6620) to learn if this community currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

**TITLE METES & BOUND DESCRIPTION**

ALL THAT CERTAIN LOT OR PIECE OF GROUND, SITUATE IN LOWER MAKEFIELD TOWNSHIP, BUCKS COUNTY, PA., DESCRIBED ACCORDING TO A FINAL MINOR SUBDIVISION PLAN PREPARED FOR DAVID M. AND MILDRED R. BROADWAY BY J. C. PARK ASSOCIATES, INC., WASHINGTON CROSSING, PA., DATED OCT. 16, 1985 AND LAST REVISED FEB. 12, 1986 RECORDED IN PLAN BOOK 232 PAGE 26, MORE FULLY BOUNDED AND DESCRIBED AS FOLLOWS, TO WIT:

BEGINNING AT A POINT IN THE NORTHERLY PROPOSED RIGHT OF WAY LINE OF STONY HILL ROAD (LP 09134) SAID POINT BEING LOCATED THE FOLLOWING THREE COURSES FROM THE INTERSECTION OF THE CENTER LINES OF SAID ROAD AND THE LANGHORNE YARDLEY ROAD; (1) NORTH 47 DEGREES 47 MINUTES 52 SECONDS WEST 187.00 FEET ALONG SAID CENTER LINE OF STONY HILL ROAD TO A POINT; THENCE (2) ALONG THE WESTERLY LINE OF LANDS NOW OR LATE OF D. M. AND M. BROADWAY (TMP 20-14-8), NORTH 54 DEGREES 05 MINUTES 37 SECONDS EAST 61.31 FEET TO A POINT; THENCE; (3) ALONG THE PROPOSED RIGHT OF WAY LINE OF STONY HILL ROAD, PARALLEL WITH AND DISTANT 60.00 FEET MEASURED AT RIGHT ANGLES NORTHERLY OF THE CENTER LINE THEREOF, NORTH 47 DEGREES 47 MINUTES 52 SECONDS WEST 212.63 FEET TO THE FIRST MENTIONED BEGINNING POINT AND RUNNING; THENCE (1) ALONG SAID PROPOSED RIGHT OF WAY LINE, NORTH 47 DEGREES 47 MINUTES 52 SECONDS WEST 560.51 FEET TO A POINT OF CURVATURE; THENCE (2) STILL ALONG SAID PROPOSED RIGHT OF WAY LINE, CONCENTRIC WITH AND DISTANT 60.00 FEET MEASURED AT RIGHT ANGLES FROM THE CENTER LINE OF SAID STONY HILL ROAD, BY THE ARC OF A CURVE HAVING A RADIUS OF 3,879.72 FEET BEARING TO THE LEFT IN A NORTHWESTERLY DIRECTION FOR A DISTANCE OF 207.30 FEET TO AN IRON PIN FOUND; THENCE; (3) NORTH 39 DEGREES 08 MINUTES 27 SECONDS EAST 20.00 FEET TO A POINT; THENCE; (4) ALONG THE ARC OF A CURVE CONCENTRIC WITH AND DISTANT 80.00 FEET AS MEASURED AT RIGHT ANGLES NORTHERLY OF THE CENTER LINE OF SAID STONY HILL ROAD, BEARING TO THE LEFT IN A NORTHWESTERLY DIRECTION HAVING A RADIUS OF 3,899.72 FEET FOR A DISTANCE OF 162.33 FEET TO A CORNER; THENCE; (5) ALONG THE SOUTHERLY LINE OF LANDS NOW OR LATE OF T. S. JR. AND A. PATTERSON (TMP 20-16-49), NORTH 83 DEGREES 59 MINUTES 53 SECONDS EAST 695.10 FEET TO AN IRON PIN FOUND; THENCE; (6) ALONG THE SOUTHWESTERLY LINE OF LAST MENTIONED LANDS SOUTH 20 DEGREES 39 MINUTES 14 SECONDS EAST PASSING OVER A STONE MONUMENT FOUND 283.80 FEET FROM THE BEGINNING OF THIS LINE, FOR A TOTAL DISTANCE OF 525.22 FEET TO CORNER; THENCE; (7) ALONG THE WESTERLY LINE OF OTHER LANDS NOW OR LATE OF D. M. AND M. BROADWAY OF WHICH THIS WAS FORMERLY A PART, SOUTH 42 DEGREES 12 MINUTES 08 SECONDS WEST 280.99 FEET TO THE FIRST MENTIONED POINT AND PLACE OF BEGINNING.

BEING LOT NO. 2 AS SHOWN ON SAID PLAN.

TAX ID / PARCEL NO. 20-16-36-1

BEING THE SAME PREMISES WHICH DAVID M. BROADWAY AND MILDRED R. BROADWAY, HUSBAND AND WIFE BY DEED DATED 3-31-1986 AND RECORDED IN DEED BOOK 2666 PAGE 296 CONVEYED INTO CENTERINVESTORS, A PENNSYLVANIA LIMITED PARTNERSHIP, IN FEE.

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TMP 20-16-49  
(UP 20-016-049)  
LANDS N/E  
TOWNSHIP OF LOWER MAKEFIELD  
D.B. 1623, PG. 1854  
P.B. 385, PG. 11

TMP 20-16-49  
(UP 20-016-049)  
LANDS N/E  
TOWNSHIP OF LOWER MAKEFIELD  
D.B. 1623, PG. 1854  
P.B. 385, PG. 11

TMP 20-16-49-T  
(UP 20-016-049-001)  
LANDS N/E  
TOWNSHIP OF LOWER MAKEFIELD  
INST #2012099727

TMP 20-16-36-1  
(UP 20-016-036-001)  
LANDS N/E  
MRG STONY HILL, LP  
D.B. 5487, PG. 1497  
P.B. 323, PG. 26

TMP 20-14-8  
(UP 20-014-008)  
LANDS N/E  
MAKEFIELD WOODSIDE, LLC  
D.B. 6678, PG. 1205  
P.B. 380, PG. 76

TMP 20-16-49  
(UP 20-016-049)  
LANDS N/E  
TOWNSHIP OF LOWER MAKEFIELD  
D.B. 1623, PG. 1854  
P.B. 385, PG. 11

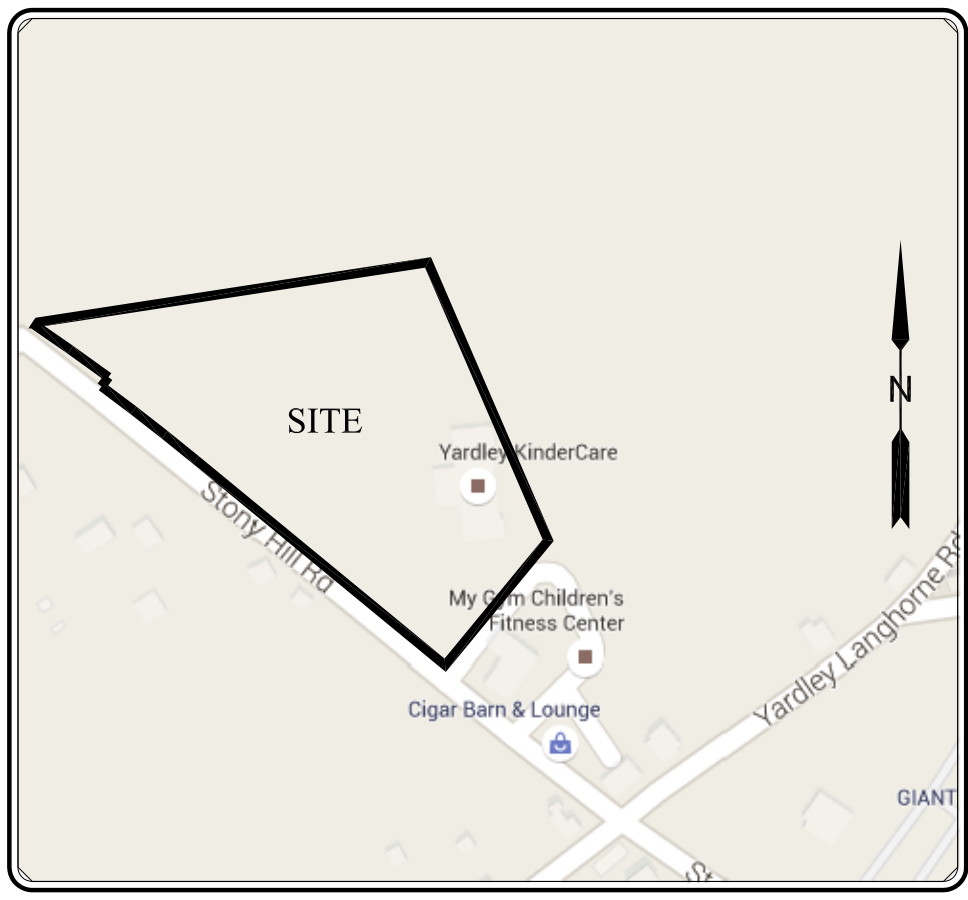
R=3899.63'  
L=162.32'  
Δ=02°23'06"  
CHB=N52°03'06"W  
CHD=162.31'

R=3879.72'  
L=207.30'  
Δ=03°03'41"  
CHB=N49°19'43"W  
CHD=207.28'

**STONY HILL ROAD**

(A.K.A. S.R. 2069)(A.K.A. L.R. 09134)  
(A.K.A. NEWTOWN-FALLSINGTON ROAD)  
(VARIABLE WIDTH R.O.W./PUBLIC ROADWAY)  
(ASPHALT ROADWAY)

**VICINITY MAP**



NOT TO SCALE

**NOTES**

- PROPERTY KNOWN AS TMP 20-16-36-1 (UP 20-016-036-001), AS IDENTIFIED ON THE OFFICIAL TAX MAPS OF BUCKS COUNTY, TOWNSHIP OF LOWER MAKEFIELD, COMMONWEALTH OF PENNSYLVANIA.
- AREA = 307,393 S.F. OR 7.057 AC.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE THE PREPARATION OF DESIGN PLANS AND/OR EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANY.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY BLUE MARSH ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON. **THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF AN UPDATED TITLE COMMITMENT REPORT.**
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- THIS PROPERTY SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- ENCROACHMENTS AND VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON.
- ELEVATIONS ARE BASED UPON (NAVD 88) DATUM ESTABLISHED ONSITE UTILIZING GLOBAL POSITIONING SYSTEM DATA COLLECTION.

**REFERENCES**

- THE OFFICIAL TAX MAPS OF BUCKS COUNTY, TOWNSHIP OF LOWER MAKEFIELD, COMMONWEALTH OF PENNSYLVANIA.
- MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, BUCKS COUNTY, PENNSYLVANIA (ALL JURISDICTIONS)", PANEL 432 OF 532, MAP NUMBER NO. 42017C0432J, MAP REVISED MARCH 16, 2015.
- MAP ENTITLED "FINAL PLAN, MINOR SUBDIVISION PLAN PREPARED FOR TAX PARCEL 20-16-36, DAVID M. & MILDRED R. BROADWAY, LOWER MAKEFIELD TOWNSHIP, BUCKS COUNTY, PA", PREPARED BY J.G. PARK ASSOCIATES, INC., RECORDED 3-26-1986 IN PLAN BOOK 232, PAGE 26.
- MAP ENTITLED "PATTERSON FARM, MINOR SUBDIVISION/LOT CONSOLIDATION, TOWNSHIP OF LOWER MAKEFIELD, BUCKS COUNTY, PENNSYLVANIA", PREPARED BY REMINGTON, VERNICK & BEACH ENGINEERS, RECORDED 11-9-2011 IN PLAN BOOK 385, PAGE 12.
- MAP ENTITLED "PRELIMINARY PLAN, RECORD PLAN, EDGEWOOD CROSSING, T.M.P. 20-14-8 & 20-16-36, LOWER MAKEFIELD TOWNSHIP, BUCKS COUNTY", PREPARED BY REI STRUCTURAL & CIVIL ENGINEERING, RECORDED 11-5-2010 IN PLAN BOOK 380, PAGE 77.
- MAP ENTITLED "EASEMENT PLAN, DEED BOOK 5487, PAGE 1497, LOWER MAKEFIELD TOWNSHIP, BUCKS COUNTY, PENNSYLVANIA", PREPARED BY REMINGTON, VERNICK & BEACH ENGINEERS, DATED 4/2/2012.

**TITLE REPORT EXCEPTIONS**

THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT PREPARED BY COMMONWEALTH LAND TITLE INSURANCE COMPANY, ORDER NUMBER: 1149266PS, FILE # 100867-FPA, WITH AN EFFECTIVE DATE OF APRIL 2, 2007, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION II:

- DECLARATION OF TAKING IN DEED BOOK 1863 PAGE 123 - DOCUMENT NOT PROVIDED.
- MEMORANDUM OF LEASE IN LAND RECORD BOOK 1491 PAGE 317 - DOCUMENT NOT PROVIDED.
- ASSIGNMENT OF LEASE IN LAND RECORD BOOK 1491 PAGE 321 - DOCUMENT NOT PROVIDED.
- CONDITIONS DISCLOSED BY SURVEY RECORDED IN PLAN BOOK 232 PAGE 26 - BUILDING SETBACK LINES AND NOTES - BUILDING SETBACK LINES SHOWN.

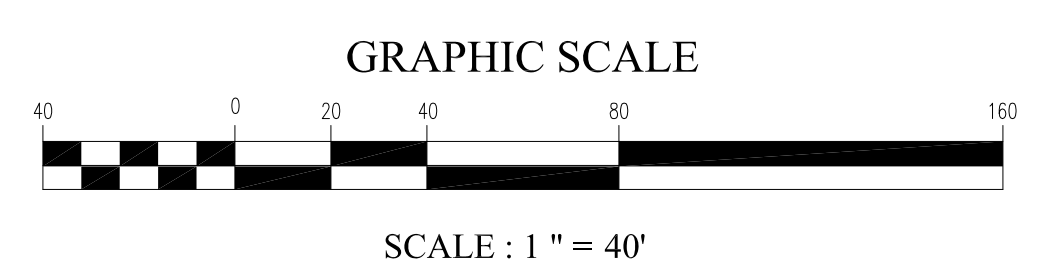
**LEGEND OF SYMBOLS & ABBREVIATIONS**

--- 150 ---	CONTOUR (MAJOR/MINOR)	--- CH ---	CHAIN LINK FENCE	△	SIGN
× 150.00	SPOT ELEVATION	--- W ---	WOOD FENCE	○	PARKING CUNT
× 150.00	TOP OF CURB ELEVATION	--- OH ---	EDGE OF WOODS	□	AREA LIGHT
× 150.00	GUTTER ELEVATION	--- W ---	OVERHEAD WIRES	○	INLET
× 150.00	TOP OF WALL ELEVATION	--- W ---	APPROXIMATE LOCATION OF UNDERGROUND WATER LINE	○	GAS VALVE
× 150.00	BOTTOM OF WALL ELEVATION	--- W ---	APPROXIMATE LOCATION OF UNDERGROUND GAS LINE	○	MANHOLE
× 150.00	DOOR SILL ELEVATION	--- W ---	APPROXIMATE LOCATION OF UNDERGROUND SANITARY SEWER LINE	○	UTILITY POLE
× 150.00	FINISH FLOOR ELEVATION	--- W ---	APPROXIMATE LOCATION OF UNDERGROUND STORM SEWER LINE	○	UTILITY POLE WITH LIGHT
× 150.00	OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE	--- W ---	TREE W/TRUNK DIAMETER & DRIP LINE	○	UNKNOWN VALVE
○	TITLE REPORT EXCEPTION	--- W ---	PROPERTY CORNER EVIDENCE	○	WATER VALVE

**CALL BEFORE YOU DIG!**

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL

PA 1 SYSTEMS  
1-800-242-1776



**SURVEYOR'S CERTIFICATION**

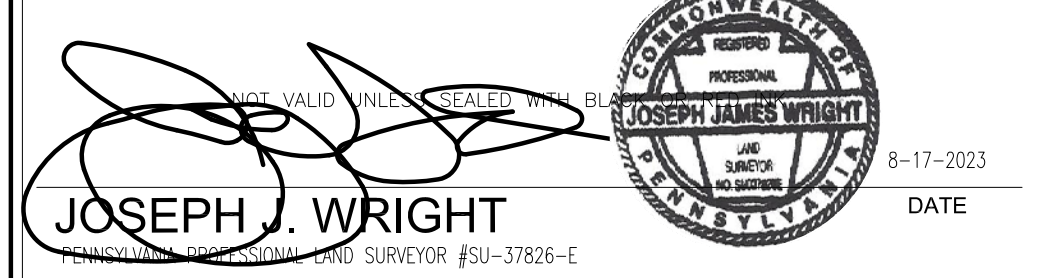
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE "2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 8, 9, 10, 11(b) & 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 10/27/2015.

DATE: 11-3-2015  
SCALE: 1" = 40'  
FIELD BK. NO: 15-09A  
PROJECT NO: 15-B215-236  
DRAWN BY: S.C.H./J.P./S.N.W.  
REVIEWED BY: T.D.M./J.J.W.  
REV-1: 11-6-2015  
REV-2: 8-17-2023  
REV-3:  
REV-4:  
REV-5:

DATE: 8-17-2023

DATE: 8-17-2023

DATE: 8-17-2023



**ALTA/ACSM LAND TITLE SURVEY**

**M R G STONY HILL, LP**

#748 STONY HILL ROAD  
TMP 20-16-36-1(UP 420-016-036-001)  
TOWNSHIP OF LOWER MAKEFIELD, BUCKS COUNTY  
COMMONWEALTH OF PENNSYLVANIA

**BLUE MARSH ASSOCIATES, INC**  
LAND SURVEYORS & PLANNERS

P.O. BOX 5453 - 2385 TABATHA DRIVE WARRINGTON, PA 18976-2370  
1541 ROUTE 37 EAST, SUITE B TOMES RIVER, NJ 08753  
215-278-4053 (MAIN) EXT. 201 215-278-4056 (DIRECT) 215-943-0218 (FAX)

www.BlueMarshAssociates.com

SHEET: 1 OF 1



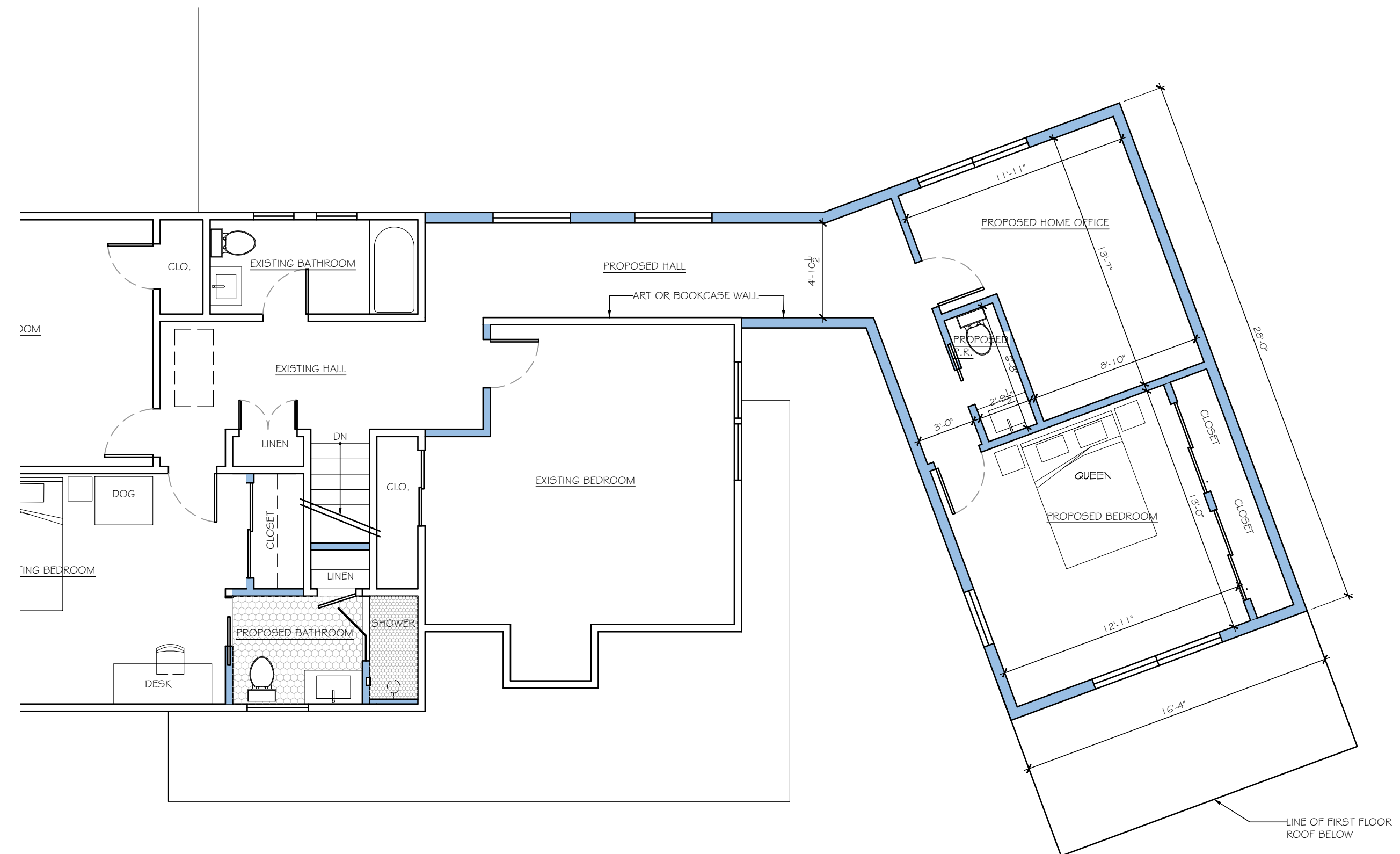
4 MODEL VIEW - HOUSE FRONT  
SCALE: NONE



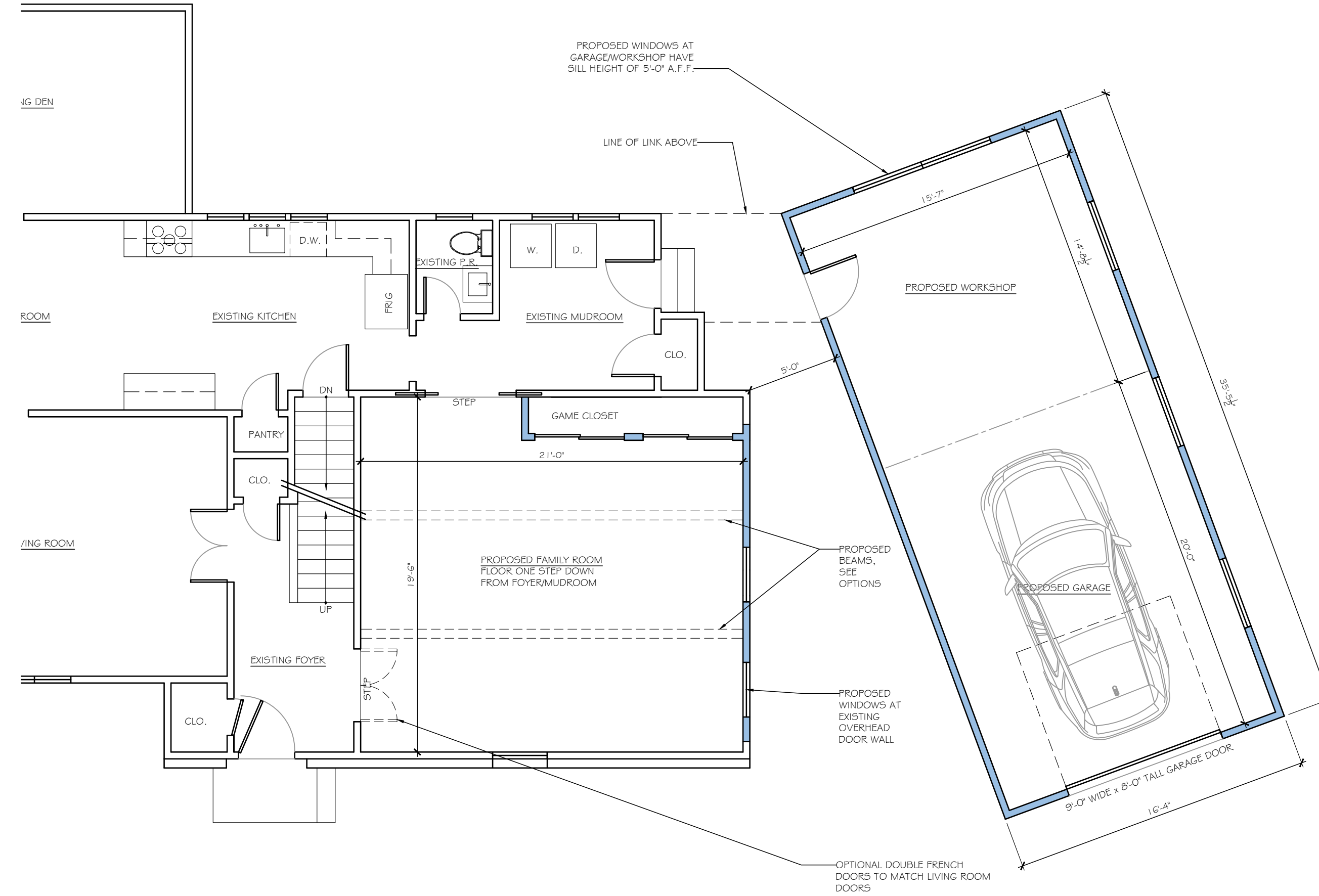
5 MODEL VIEW - GARAGE FRONT  
SCALE: NONE



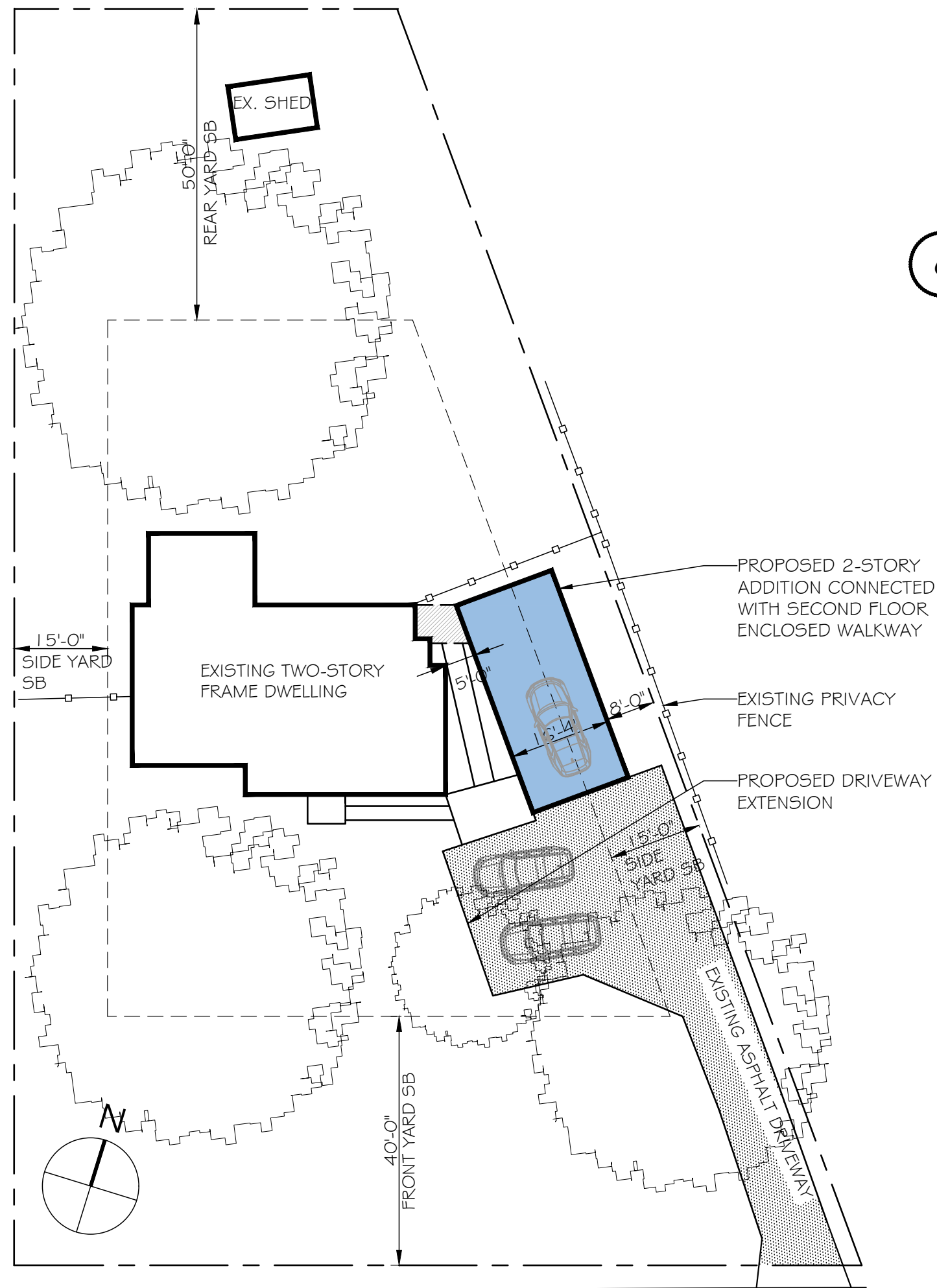
6 MODEL VIEW - REAR CORNER  
SCALE: NONE



3 SECOND FLOOR PLAN - VARIANCE SCHEME  
SCALE: 3/16"=1'-0"



2 FIRST FLOOR PLAN - VARIANCE SCHEME  
SCALE: 3/16"=1'-0"



ST. JAMES PLACE

EXISTING TREES WITHIN 20 FT: 500 SF  
EXISTING TREES WITHIN 100 FT: 6,600 SF

1 SITE PLAN - VARIANCE SCHEME  
SCALE: 1"=20'

ZONING INFORMATION

ZONE: R-2 RESIDENCE DISTRICT (LOWER MAKEFIELD TOWNSHIP)  
USE: SINGLE-FAMILY DETACHED  
PARCEL: 20-043-001

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA:	16,500 SF	20,037 SF	20,037 SF
MINIMUM LOT WIDTH:	110 FT	>110 FT	>110 FT
MAXIMUM BUILDING HEIGHT:	35 FT	<35 FT	<35 FT
MINIMUM FRONT YARD:	40 FT	>40 FT	>40 FT
MINIMUM SIDE YARD:	15 FT	>15 FT	<15 FT
MINIMUM REAR YARD:	50 FT	>50 FT	>50 FT
MAXIMUM IMPERVIOUS SURFACE:	18%	17.75%	21.36%

	EXISTING	PROPOSED
EXISTING BUILDING:	1,608 SF	1,608 SF
GARAGE ADDITION:	0 SF	580 SF
DRIVEWAY:	1,768 SF	1,690 SF
FRONT WALK:	67 SF	288 SF
SHED:	114 SF	114 SF

TOTAL:	3,557 SF	4,280 SF
	17.75%	21.36%

NOT FOR CONSTRUCTION

NATALE RESIDENCE  
GARAGE ADDITION  
8 ST. JAMES PLACE  
YARDLEY, PA 19067

DATE	BY	REVISIONS
6/7/24	PG	ISSUED FOR CONCEPT REVIEW
6/28/24	PG	ISSUED FOR CONCEPT REVIEW_R1

DRAWING TITLE  
**CONCEPT REVIEW  
VARIANCE SCHEME**  
JOB #: 2406  
DRAWN: PG  
CHECKED:  
DATE: 6/6/2024  
SCALE: AS NOTED