

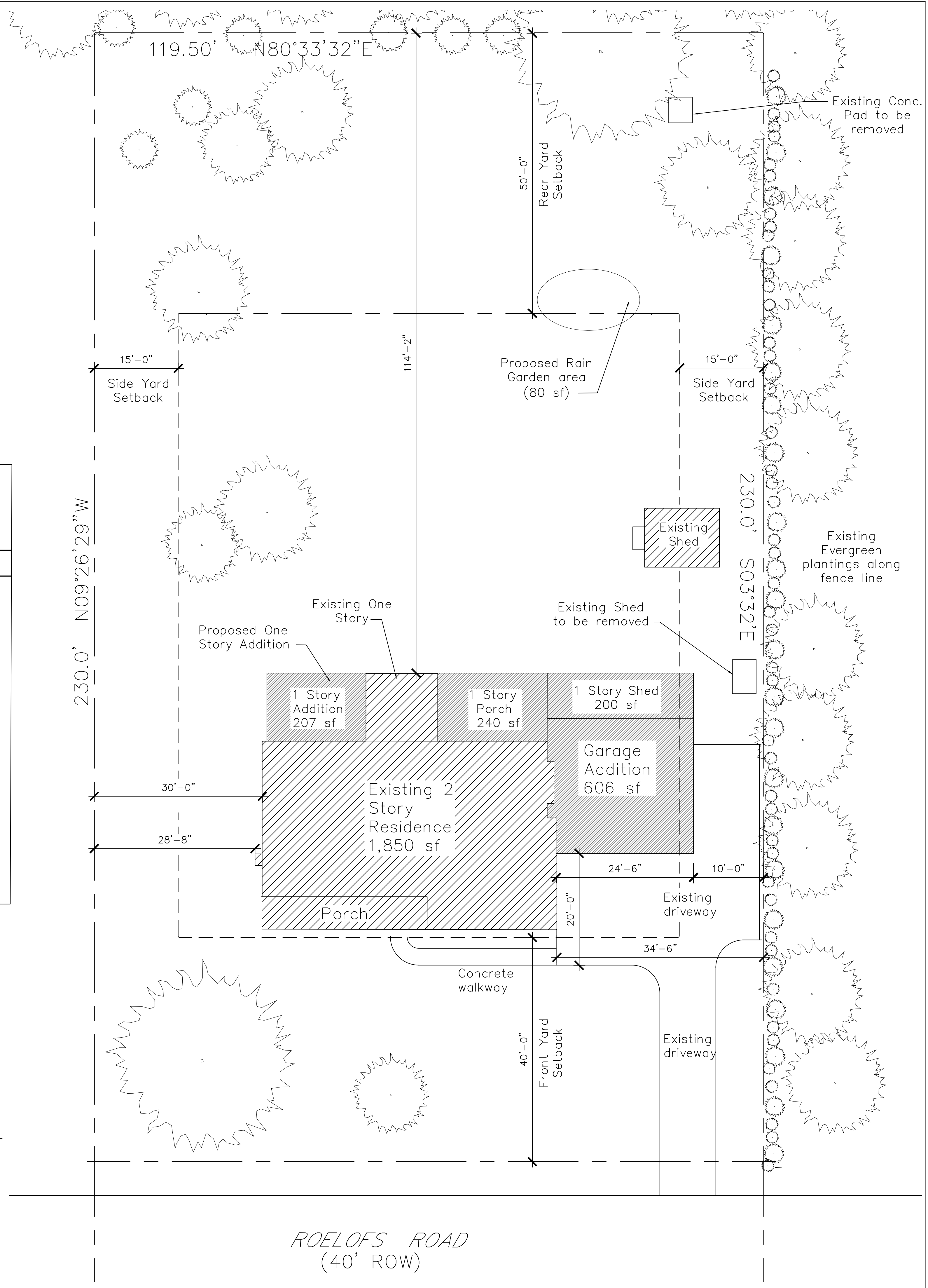
LOCATION MAP

Lower Makefield Township, Bucks County PA ZONING CLASSIFICATION: R-2 – RESIDENTIAL MEDIUM DENSITY DISTRICT LOT # 1, PARCEL NO. 20-042-278			
ITEM	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	1,6500 sf	23,900 sf	
EXISTING BUILDING AREA		1,815 sf	1,815 sf
COVERED PORCH		169 sf	409 sf
DRIVEWAY/WALKS/PATIO		2,097 sf	1,246 sf
SHEDS		144 sf	300 sf
PROPOSED ADDITION			813 sf
TOTAL		4,248 sf	4,583 sf
MAX IMPERVIOUS COVERAGE	18% (4,302 sf)	17.8%	19.17%
FRONT YARD SETBACK	40 feet Min.	40 feet	40 feet
SIDE YARD SETBACK	15 feet Min.	28.8 + 34.5 feet	28.8 + 10 feet
REAR YARD SETBACK	50 feet Min.	114.2 feet	114.2 feet

ZONING VARIANCES REQUIRED:

SIDE YARD SETBACK: Reduce from 15' to 10'
 IMPERVIOUS COVERAGE: Increase from 17.8% to 19.17% (281 over allowable sf)

1 SITE PLAN
1" = 1'-0"



Seal

JUDY HENDRIXSON, ARCHITECT
 Architecture ♦ Planning ♦ Interiors

243 Almshouse Road, Doylestown, PA 18901
 Phone (215) 230-6952 Fax (215) 230-6953
 E-Mail: judy@HendrixsonArchitects.com

Renovation for:

The Plews Residence

800 Roelofs Road

Yardley, PA 19067

DATE	ISSUE / REV
EXISTING COND.	1/30/23
ZHB Submission:	9/8/23

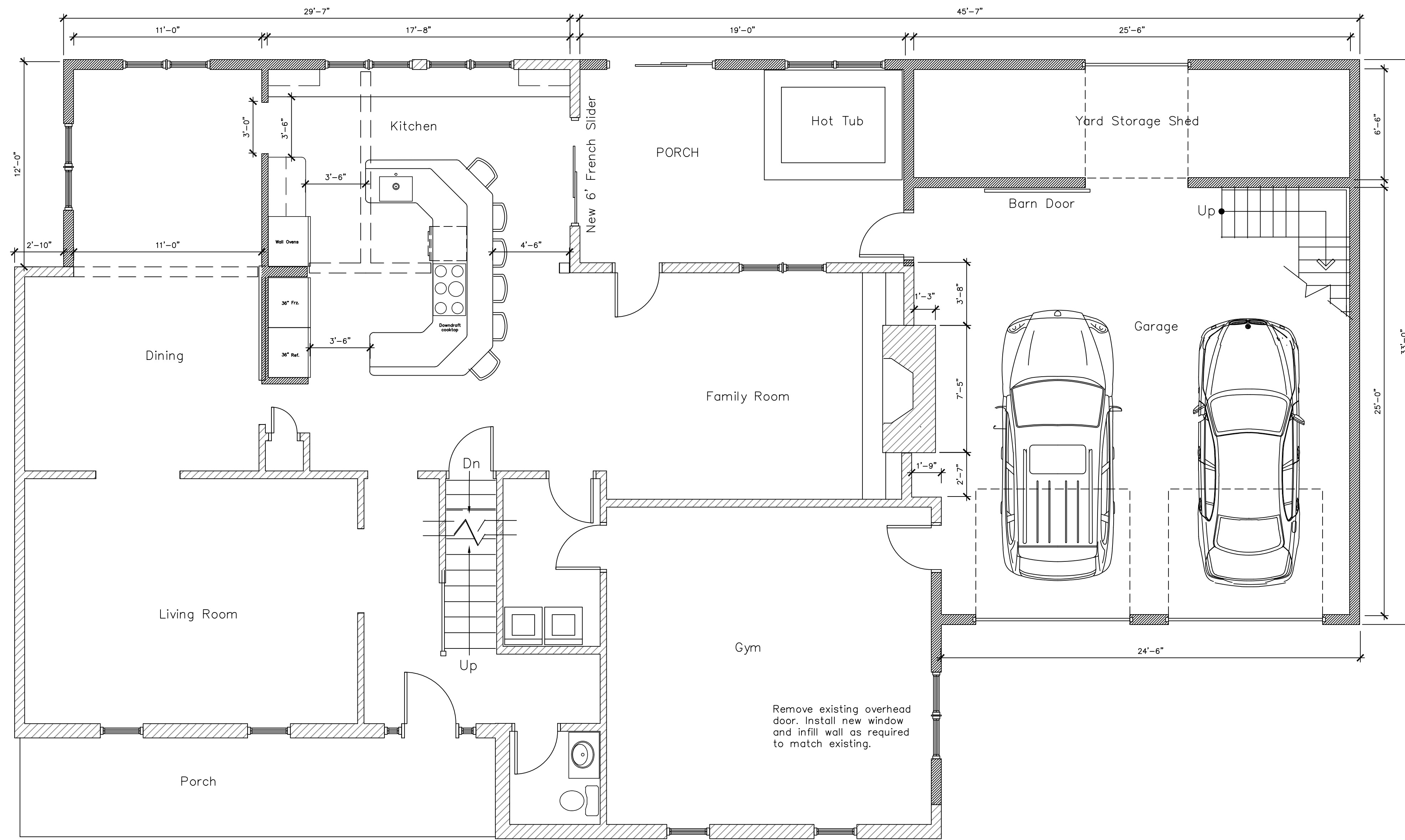
DRAWN BY: JLH
 SHEET TITLE:

Site Plan

SHEET NO.

SP

PROJECT NO.
 DATE: Sept 8, 2023



1 PROPOSED GROUND FLOOR PLAN
 1/4" = 1'-0"

Seal

JUDY HENDRIXSON, ARCHITECT
 Architecture ♦ Planning ♦ Interiors

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 Phone (215) 230-6952 Fax (215) 230-6953
 E-Mail: judy@HendrixsonArchitects.com

Renovation for:

The Plews Residence
800 Roelofs Road
Yardley, PA 19067

DATE	ISSUE / REV
EXISTING COND.	2/2/23
ZHB Submission:	9/8/23

DRAWN BY: JLH
 SHEET TITLE:
 PROPOSED
 GROUND
 FLOOR PLAN

SHEET NO.
A-1
 PROJECT NO.
 DATE: Sept 8, 2023

1) GENERAL CONDITIONS

1.1. The Contractor shall be responsible for obtaining all permits necessary for the execution of the work and for securing all necessary approvals from the appropriate authorities.

2) SITE WORK

2.1. The Contractor shall be responsible for site preparation, including clearing, grubbing, and grading, as shown on the drawings and in accordance with the specifications.

3) CONCRETE

3.1. All concrete work shall be done in accordance with the provisions of the Specifications for Concrete and Reinforcing Steel, and shall conform to the requirements of the American Concrete Institute (ACI) 308R-90.

4) MAZONIY

4.1. The Contractor shall be responsible for the installation and maintenance of all fire protection systems, including fire alarm, fire extinguishers, and fire hydrants.

5) METALS

5.1. All metal work shall be done in accordance with the provisions of the Specifications for Metals and the requirements of the American Institute of Steel Construction (AISC) 158.

6) WOOD AND PLASTICS

6.1. All wood and plastic work shall be done in accordance with the provisions of the Specifications for Wood and Plastics and the requirements of the American Wood Council (AWC) 175.

7) PAINTS AND FINISHES

7.1. All painting and finishing work shall be done in accordance with the provisions of the Specifications for Paints and Finishes and the requirements of the Architectural Institute of Canada (AIC).

8) SPECIALTIES

8.1. All specialty work, including but not limited to, electrical, plumbing, and mechanical, shall be done in accordance with the provisions of the Specifications for Specialties and the requirements of the respective trade associations.

9) THERMAL AND MOISTURE PROTECTION

9.1. All thermal and moisture protection work shall be done in accordance with the provisions of the Specifications for Thermal and Moisture Protection and the requirements of the Building Science Corporation (BSC).

10) ROOFS

10.1. All roof work shall be done in accordance with the provisions of the Specifications for Roofs and the requirements of the Roofing Institute of America (RIA).

11) SPECIALTIES

11.1. All specialty work, including but not limited to, electrical, plumbing, and mechanical, shall be done in accordance with the provisions of the Specifications for Specialties and the requirements of the respective trade associations.

12) EQUIPMENT

12.1. The Contractor shall be responsible for the installation and maintenance of all equipment, including elevators, escalators, and mechanical systems.

13) FURNISHING

13.1. The Contractor shall be responsible for the installation and maintenance of all furnishings, including furniture, fixtures, and equipment.

14) SPECIAL CONSTRUCTION

14.1. The Contractor shall be responsible for the installation and maintenance of all special construction, including stairs, ramps, and lifts.

15) CONVEYING SYSTEMS

15.1. The Contractor shall be responsible for the installation and maintenance of all conveying systems, including conveyors and lifts.

16) MECHANICAL

16.1. The Contractor shall be responsible for the installation and maintenance of all mechanical systems, including heating, ventilation, and air conditioning.

17) FINISHES

17.1. All finishing work shall be done in accordance with the provisions of the Specifications for Finishes and the requirements of the Architectural Institute of Canada (AIC).

18) SPECIALTIES

18.1. All specialty work, including but not limited to, electrical, plumbing, and mechanical, shall be done in accordance with the provisions of the Specifications for Specialties and the requirements of the respective trade associations.

19) EIP PROTECTION

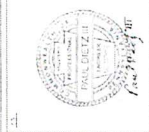
19.1. The Contractor shall be responsible for the installation and maintenance of all EIP protection systems, including fire alarm, fire extinguishers, and fire hydrants.

20) MAZONIY

20.1. The Contractor shall be responsible for the installation and maintenance of all fire protection systems, including fire alarm, fire extinguishers, and fire hydrants.

Edell Construction
3277 Lawrence Boulevard, #1202
Lawrenceville, GA 30046
Tel: 770.962.8000
Fax: 770.962.8001

Table with 4 columns: Description, Quantity, Unit, Price. Includes rows for General Conditions, Site Work, Concrete, Metals, Wood and Plastics, etc.



Lot # 2 Big Oak Rd.
Lower Makefield Twp. PA 19067
TAX PARCEL #: 20-002-003-002

SPEC

1. FOUNDATION WALLS SHALL BE CONCRETE ON CRUSHED STONE WITH A MINIMUM OF 4" CONCRETE SLAB ON 8" CRUSHED STONE VAPOR BARRIER OVER 8" CRUSHED STONE.

2. FOUNDATION WALLS SHALL BE CONCRETE ON CRUSHED STONE WITH A MINIMUM OF 4" CONCRETE SLAB ON 8" CRUSHED STONE VAPOR BARRIER OVER 8" CRUSHED STONE.

3. FOUNDATION WALLS SHALL BE CONCRETE ON CRUSHED STONE WITH A MINIMUM OF 4" CONCRETE SLAB ON 8" CRUSHED STONE VAPOR BARRIER OVER 8" CRUSHED STONE.

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14. FOUNDATION WALLS SHALL BE CONCRETE ON CRUSHED STONE WITH A MINIMUM OF 4" CONCRETE SLAB ON 8" CRUSHED STONE VAPOR BARRIER OVER 8" CRUSHED STONE.

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20. FOUNDATION WALLS SHALL BE CONCRETE ON CRUSHED STONE WITH A MINIMUM OF 4" CONCRETE SLAB ON 8" CRUSHED STONE VAPOR BARRIER OVER 8" CRUSHED STONE.

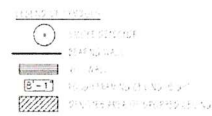
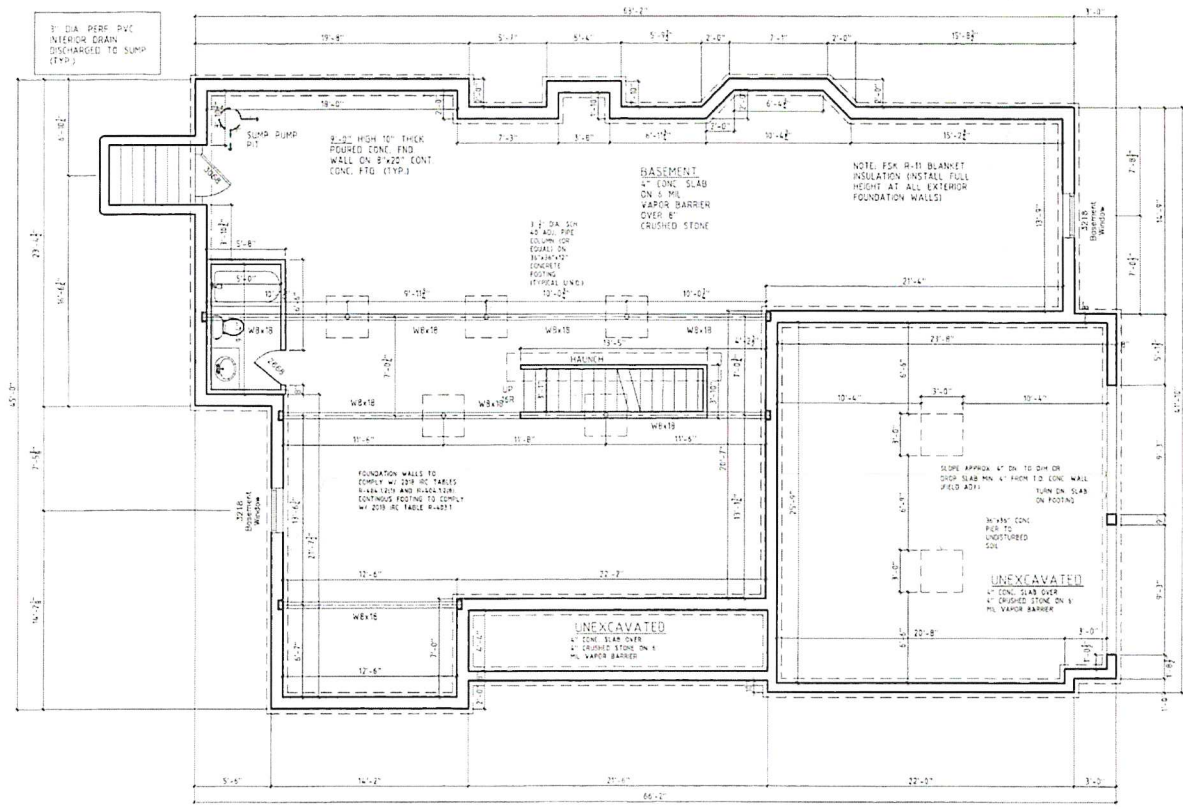


TABLE 1064.1(1) MINIMUM HORIZONTAL REINFORCEMENT FOR CONCRETE BASEMENT WALLS*


MAXIMUM UN-SUPPORTED HEIGHT OF BASEMENT WALL (HW)	LOCATION OF HORIZONTAL REINFORCEMENT
12'	See Note 4. Reinforce to bottom of footing of each story and top of each slab.
12'-0" to 16'-0"	See Note 4. Reinforce to bottom of footing of each story and top of each slab and one slab near the top of each story.

* For walls taller than 12 feet, the minimum horizontal reinforcement shall be provided in accordance with ACI 318.1-11.
 † Reinforce to bottom of footing of each story and top of each slab and one slab near the top of each story.
 ‡ Reinforce to bottom of footing of each story and top of each slab and one slab near the top of each story.



FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

Licensed Professional Engineer
 State of Pennsylvania
 License No. 00000000000000000000000000000000
 Date: 10/15/2011


 PAUL E. ZIER
 P.E.

Lot #2 Big Oak Rd.
Lower Makefield Twp. PA 19067
 TWP PARCEL #: 20-052-023-002

Foundation Plan
 A-1

GENERAL NOTES

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. ALL WALLS ARE 8" THICK UNLESS OTHERWISE NOTED.
3. ALL DOORS AND WINDOWS ARE TO BE AS SHOWN UNLESS OTHERWISE NOTED.
4. ALL WALLS ARE TO BE FINISHED WITH GYP. BOARD UNLESS OTHERWISE NOTED.
5. ALL FLOORS ARE TO BE FINISHED WITH 3/4" ASPEN HARDWOOD UNLESS OTHERWISE NOTED.
6. ALL CEILING ARE TO BE FINISHED WITH 95% MIN. GYP. BOARD UNLESS OTHERWISE NOTED.
7. ALL ROOF ARE TO BE FINISHED WITH 5/8" ASPEN SHAKES UNLESS OTHERWISE NOTED.
8. ALL EXTERIOR WALLS ARE TO BE FINISHED WITH 8" CMU UNLESS OTHERWISE NOTED.
9. ALL EXTERIOR WINDOWS ARE TO BE FINISHED WITH 1/2" ALUM. CLADDING UNLESS OTHERWISE NOTED.
10. ALL EXTERIOR DOORS ARE TO BE FINISHED WITH 1 1/2" SOLID WOOD UNLESS OTHERWISE NOTED.
11. ALL INTERIOR WALLS ARE TO BE FINISHED WITH GYP. BOARD UNLESS OTHERWISE NOTED.
12. ALL INTERIOR DOORS ARE TO BE FINISHED WITH 1 1/2" SOLID WOOD UNLESS OTHERWISE NOTED.
13. ALL INTERIOR WINDOWS ARE TO BE FINISHED WITH 1/2" ALUM. CLADDING UNLESS OTHERWISE NOTED.
14. ALL INTERIOR CEILING ARE TO BE FINISHED WITH GYP. BOARD UNLESS OTHERWISE NOTED.
15. ALL INTERIOR FLOORS ARE TO BE FINISHED WITH 3/4" ASPEN HARDWOOD UNLESS OTHERWISE NOTED.

GENERAL NOTES (CONT'D)

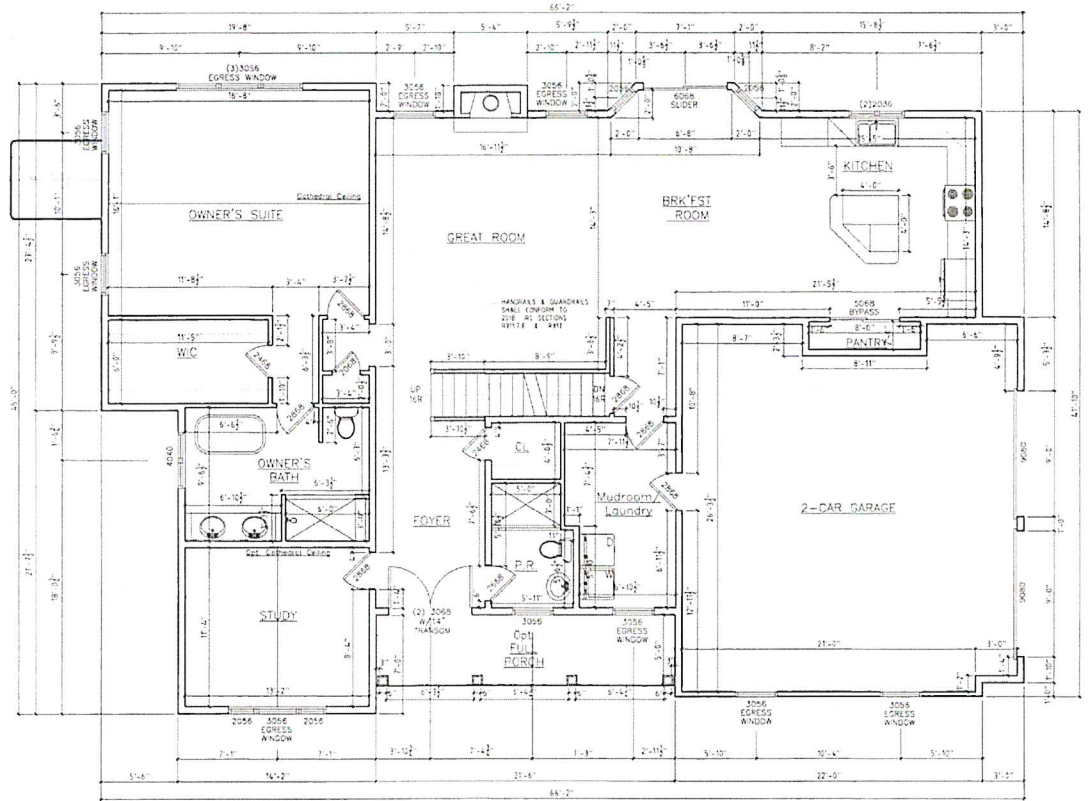
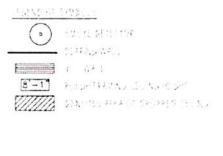
16. ALL EXTERIOR ROOF ARE TO BE FINISHED WITH 5/8" ASPEN SHAKES UNLESS OTHERWISE NOTED.
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23. ALL INTERIOR CEILING ARE TO BE FINISHED WITH GYP. BOARD UNLESS OTHERWISE NOTED.
24. ALL INTERIOR FLOORS ARE TO BE FINISHED WITH 3/4" ASPEN HARDWOOD UNLESS OTHERWISE NOTED.

GENERAL NOTES (CONT'D)

25. ALL EXTERIOR ROOF ARE TO BE FINISHED WITH 5/8" ASPEN SHAKES UNLESS OTHERWISE NOTED.
26. ALL EXTERIOR WALLS ARE TO BE FINISHED WITH 8" CMU UNLESS OTHERWISE NOTED.
27. ALL EXTERIOR WINDOWS ARE TO BE FINISHED WITH 1/2" ALUM. CLADDING UNLESS OTHERWISE NOTED.
28. ALL EXTERIOR DOORS ARE TO BE FINISHED WITH 1 1/2" SOLID WOOD UNLESS OTHERWISE NOTED.
29. ALL INTERIOR WALLS ARE TO BE FINISHED WITH GYP. BOARD UNLESS OTHERWISE NOTED.
30. ALL INTERIOR DOORS ARE TO BE FINISHED WITH 1 1/2" SOLID WOOD UNLESS OTHERWISE NOTED.
31. ALL INTERIOR WINDOWS ARE TO BE FINISHED WITH 1/2" ALUM. CLADDING UNLESS OTHERWISE NOTED.
32. ALL INTERIOR CEILING ARE TO BE FINISHED WITH GYP. BOARD UNLESS OTHERWISE NOTED.
33. ALL INTERIOR FLOORS ARE TO BE FINISHED WITH 3/4" ASPEN HARDWOOD UNLESS OTHERWISE NOTED.

GENERAL NOTES (CONT'D)

34. ALL EXTERIOR ROOF ARE TO BE FINISHED WITH 5/8" ASPEN SHAKES UNLESS OTHERWISE NOTED.
35. ALL EXTERIOR WALLS ARE TO BE FINISHED WITH 8" CMU UNLESS OTHERWISE NOTED.
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40. ALL INTERIOR WINDOWS ARE TO BE FINISHED WITH 1/2" ALUM. CLADDING UNLESS OTHERWISE NOTED.
41. ALL INTERIOR CEILING ARE TO BE FINISHED WITH GYP. BOARD UNLESS OTHERWISE NOTED.
42. ALL INTERIOR FLOORS ARE TO BE FINISHED WITH 3/4" ASPEN HARDWOOD UNLESS OTHERWISE NOTED.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

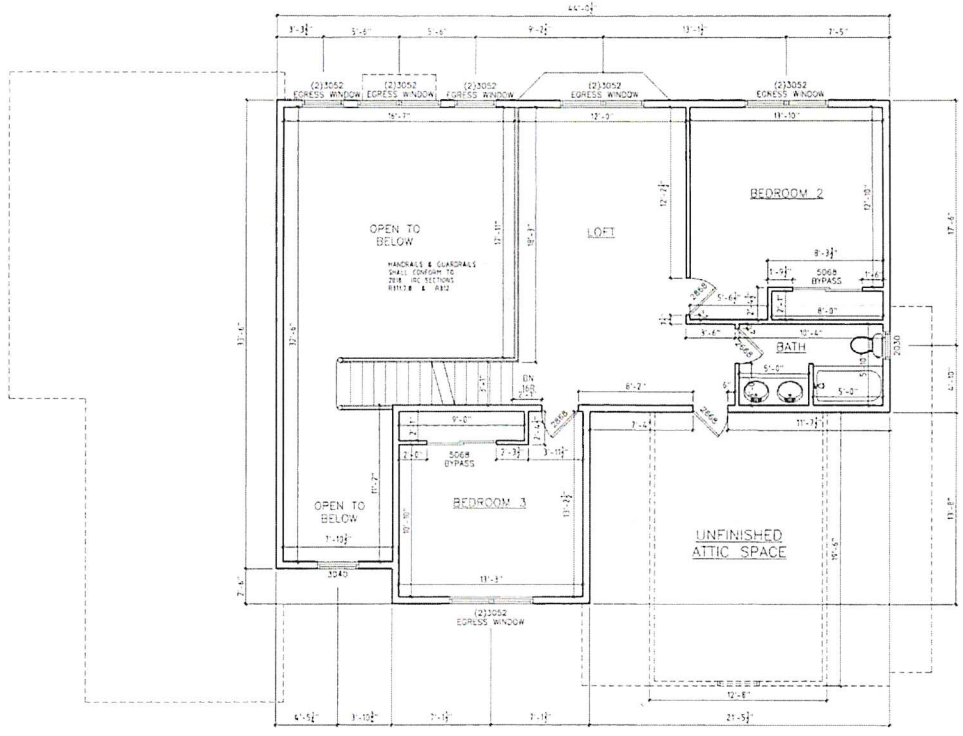
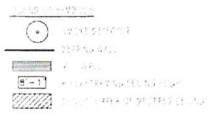
[Professional Engineer Stamp]
 [Title Block]
Lot # 2 Big Oak Rd.
Lower Makefield Twp. PA 19067
 TAX PARCEL # 20-022-025-002
A-2

NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. FINISH FLOOR TO FINISH FLOOR.
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SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

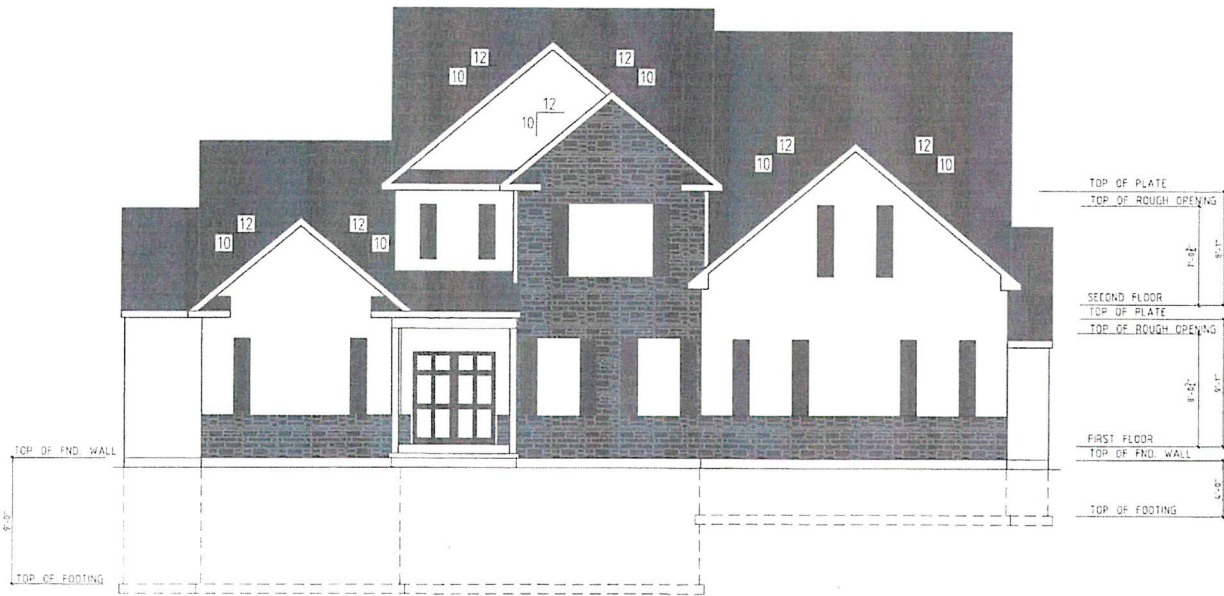
Architectural Firm Name
 License No.
 Date

NO.	REVISION	DATE



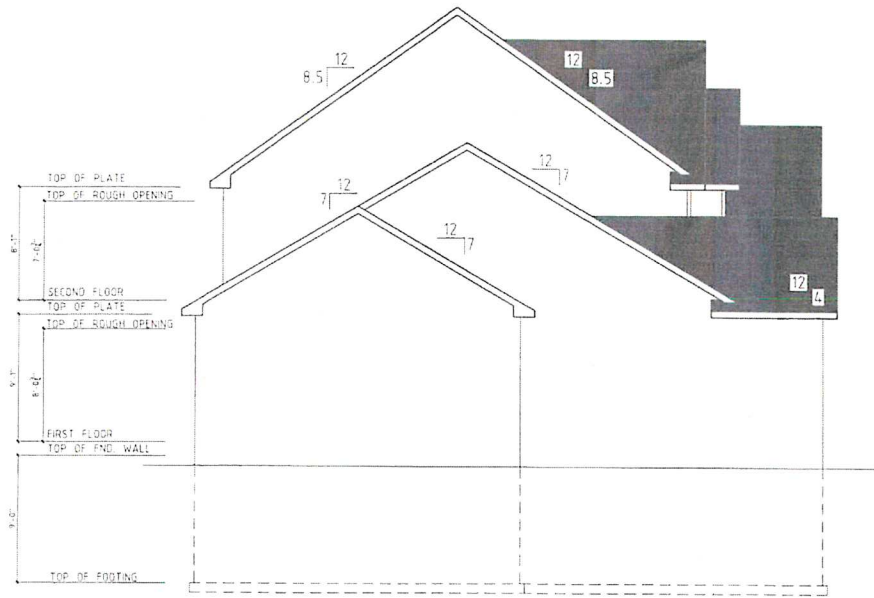
Second Floor Plan
 Lot # 2 Big Oak Rd.
 Lower Makefield Twp. PA 19067
 PROJECT # 20-092-025-002

A-3



FRONT ELEVATION

SCALE: $\frac{1}{4}'' = 1'-0''$



LEFT SIDE ELEVATION

SCALE: $\frac{1}{4}'' = 1'-0''$

John C. ...
 ...
 ...

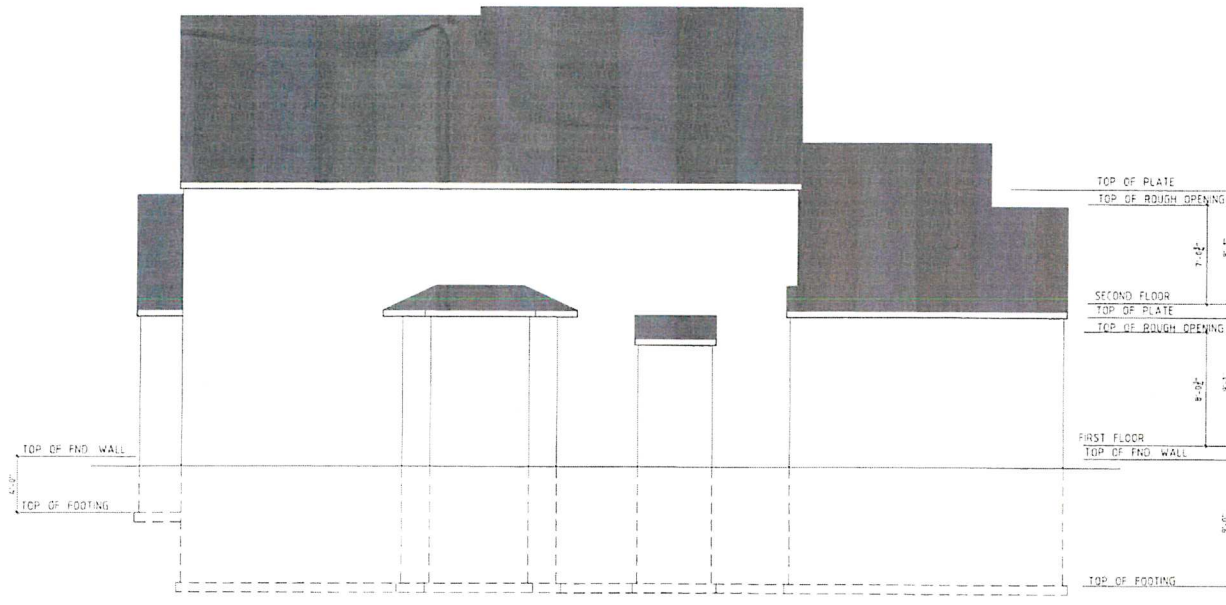
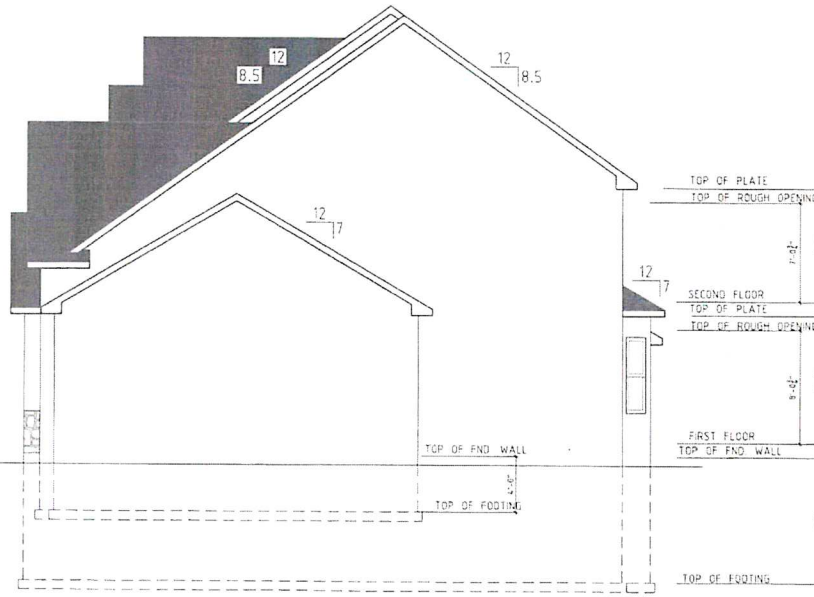


Elevations
 Lot # 2 Big Oak Rd.
 Lower Makefield Twp. PA 19067
 TAX PARCEL # 20-092-029-007

A-4a

RIGHT SIDE ELEVATION

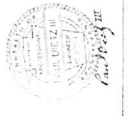
SCALE: $\frac{1}{4}" = 1'-0"$



REAR ELEVATION

SCALE: $\frac{1}{4}" = 1'-0"$

Architectural
 1234 Main St
 Philadelphia, PA 19101
 Tel: (215) 123-4567
 Fax: (215) 987-6543



Elevation:
 Lot # 2 Big Oak Rd.
 Lower Makefield Twp, PA 19067
 TAX PARCEL #: 20-092-023-002




DATE	DESCRIPTION

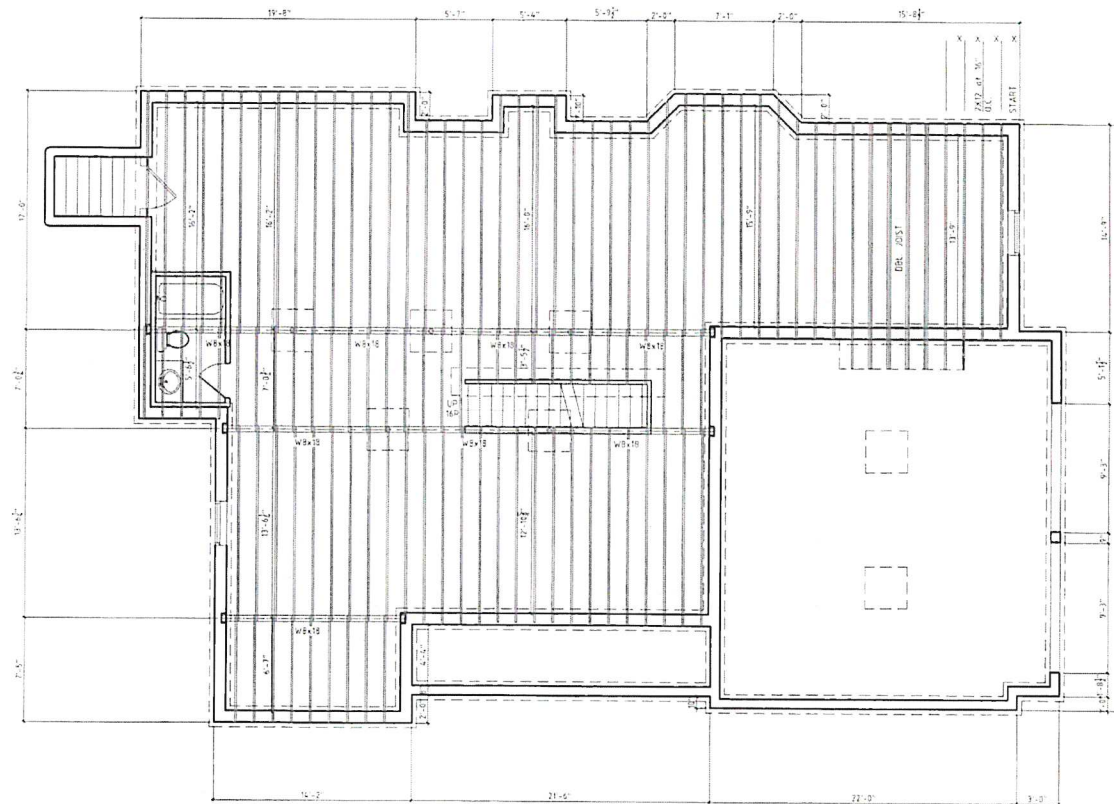
A-4b

FRAMING NOTES:

- 1) ALL FRAMING LUMBER TO BE #2 OR BETTER
- 2) JOIST SPANS GREATER THAN 8'-0" TO RECEIVE BRIDGING AT MID-SPAN. JOIST SPANS GREATER THAN 12'-0" TO RECEIVE BRIDGING AT THIRD SPANS
- 3) ALL WINDOW AND EXTERIOR DOOR HEADERS ARE (2) 2X10 @ W/ 1" PLYWOOD IN BETWEEN UNLESS OTHERWISE NOTED
- 4) START PLYWOOD LAYOUT FROM REAR
- 5) ROOF TRUSSES AND LAYOUT TO BE SUPPLIED AND ENGINEERED BY TRUSS MANUFACTURER
- 6) ALL POSTS ARE (5) 2X4 @ UNLESS OTHERWISE NOTED
- 7) BUILDER TO VERIFY SPECIFICATIONS FOR ALL ENGINEERED LUMBER TO MEET APPLICABLE LOAD REQUIREMENTS IN COMPLIANCE WITH 2018 IRC
- 8) SIGNED AND SEALED SHOP DRAWINGS FOR ALL ENGINEERED LUMBER PRODUCTS TO BE PROVIDED

LEGEND OF SYMBOLS:

-  DENOTES FLOOR JOIST DIRECTION
-  DENOTES EXTENT OF FLOOR JOISTS
-  START OF PLYWOOD LAYOUT
-  PLUMBING FIXTURES (ABOVE)
-  OVERFRAMED AREAS



FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

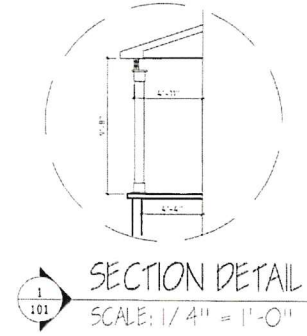
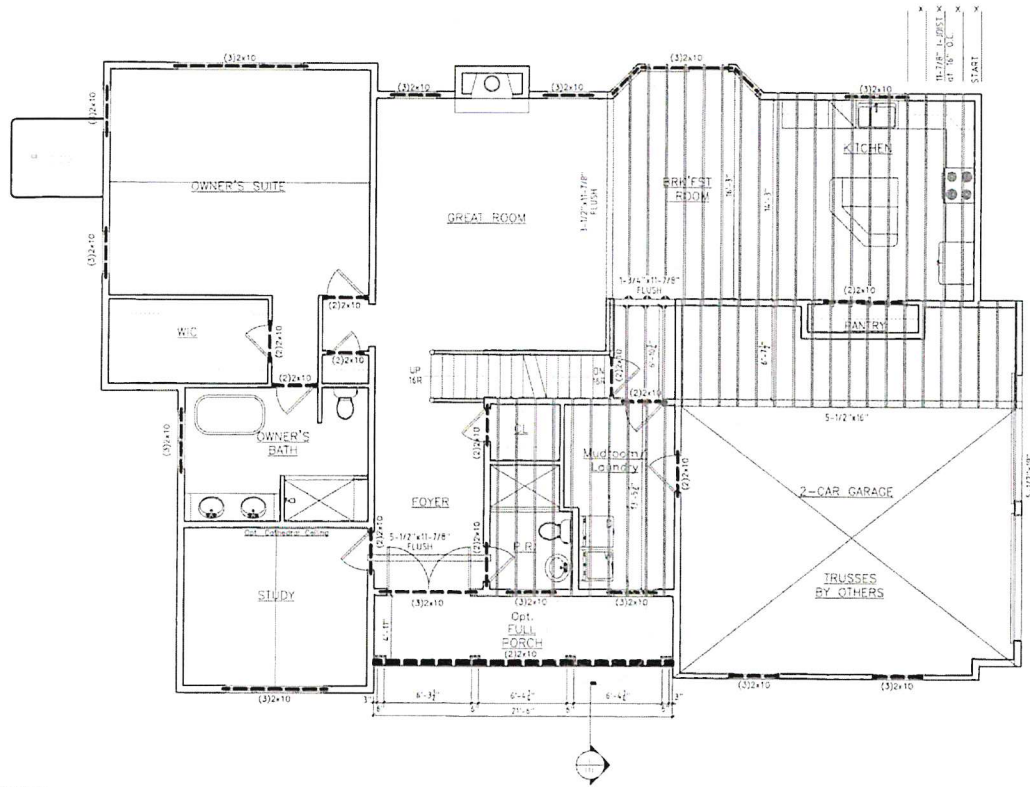
Paula Contreras
Architect
1001 Market Street, Suite 300
Philadelphia, PA 19107
Tel: (215) 251-1111

Framing Plan
Lot # 2 Big Oak Rd.
Lower Makefield Twp. PA 19067
PA PROJ # 20-022-024-002

A-5a

FRAMING NOTES:

- 1.) ALL FRAMING LUMBER TO BE #2 OR BETTER
- 2.) JOIST SPANS GREATER THAN 8'-0" TO RECEIVE BRACING AT MID-SPAN. JOIST SPANS GREATER THAN 12'-0" TO RECEIVE BRACING AT THIRD-SPANS
- 3.) ALL WINDOW AND EXTERIOR DOOR HEADERS ARE (2) 2x10's W/ 1/2" PLYWOOD IN BETWEEN UNLESS OTHERWISE NOTED
- 4.) START PLYWOOD LAYOUT FROM REAR
- 5.) ROOF TRUSSES AND LAYOUT TO BE SUPPLIED AND ENGINEERED BY TRUSS MANUFACTURER
- 6.) ALL POSTS ARE (4) 2x4's UNLESS OTHERWISE NOTED
- 7.) BUILDER TO VERIFY SPECIFICATIONS FOR ALL ENGINEERED LUMBER TO MEET APPLICABLE LOAD REQUIREMENTS IN COMPLIANCE WITH 2018 IRC
- 8.) SIGNED AND SEALED SHOP DRAWINGS FOR ALL ENGINEERED LUMBER PRODUCTS TO BE PROVIDED.



LEGEND OF SYMBOLS:

- DENOTES FLOOR JOIST DIRECTION
- DENOTES EXTENT OF FLOOR JOISTS
- START OF PLYWOOD LAYOUT
- PLUMBING FIXTURES (ABOVE)
- OVERFRAMED AREAS

Wall Bracing: Per IRC 2018 Table R602.10.4
"Let-In-Bracing"

TABLE R602.10.4 BRACING METHODS				
METHODS, MATERIAL	MINIMUM THICKNESS	FIGURE	CONNECTION CRITERIA*	
			Fasteners	Spacing
LIB Let-in-bracing	1 - 4 wood or approved metal straps at 45° to 60° angles for maximum 16" stud spacing		2x4s common nails or 2-8d 1 1/2" x 1 1/2" x 6 1/2" nails	Wood: per stud and top and bottom plates Metal: per manufacturer
			Metal strap per manufacturer	Metal: per manufacturer

SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

Framing Plan
 Lot # 2 Big Oak Rd.
 Lower Makefield Twp, PA 19067
 FAX: 610-392-023-002

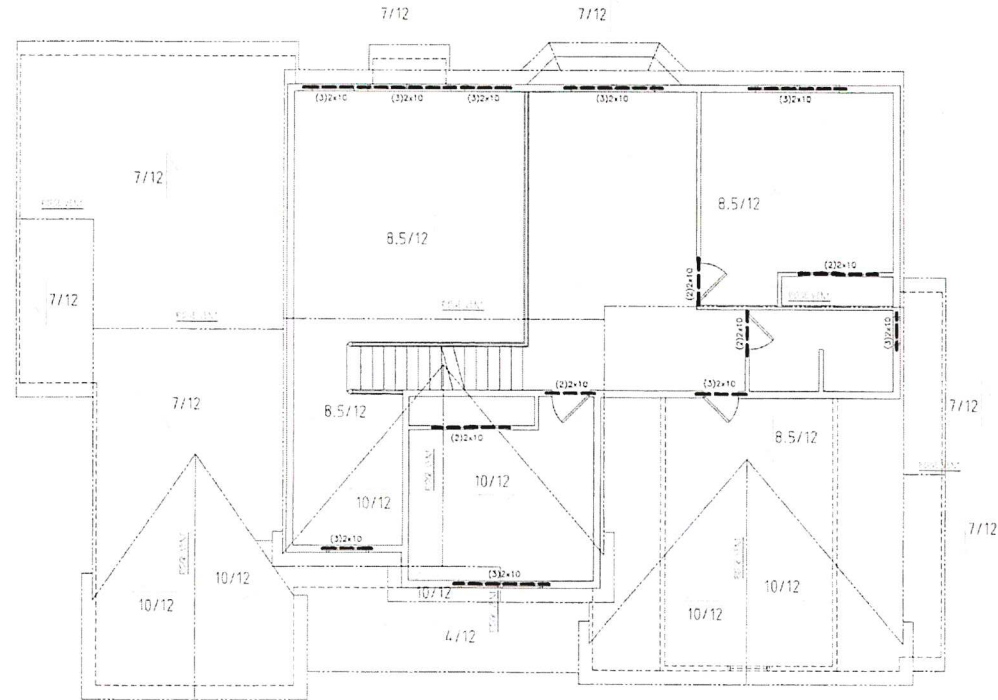
A-5b

FRAMING NOTES:

- 1.) ALL FRAMING LUMBER TO BE #2 OR BETTER
- 2.) JOIST SPANS GREATER THAN 8'-0" TO RECEIVE BRIDGING AT MID-SPAN. JOIST SPANS GREATER THAN 12'-0" TO RECEIVE BRIDGING AT THIRD-SPANS
- 3.) ALL WINDOW AND EXTERIOR DOOR HEADERS ARE (2) 2x10 w/ 1" PLYWOOD N/BETWEEN UNLESS OTHERWISE NOTED
- 4.) START PLYWOOD LAYOUT FROM REAR
- 5.) ROOF TRUSSES AND LAYOUT TO BE SUPPLIED AND ENGINEERED BY TRUSS MANUFACTURER
- 6.) ALL POSTS ARE (3) 2x4s UNLESS OTHERWISE NOTED
- 7.) BUYER TO VERIFY SPECIFICATIONS FOR ALL ENGINEERED LUMBER TO MEET APPLICABLE LOAD REQUIREMENTS IN COMPLIANCE WITH 2018 IRC
- 8.) SIGNED AND SEALED SHOP DRAWINGS FOR ALL ENGINEERED LUMBER PRODUCTS TO BE PROVIDED

LEGEND OF SYMBOLS:

-  DENOTES FLOOR JOIST DIRECTION
-  DENOTES EXTENT OF FLOOR JOISTS
-  START OF PLYWOOD LAYOUT
-  PLUMBING FIXTURES (ABOVE)
-  OVERFRAMED AREAS



ROOF PLAN

SCALE: 1/4" = 1'-0"

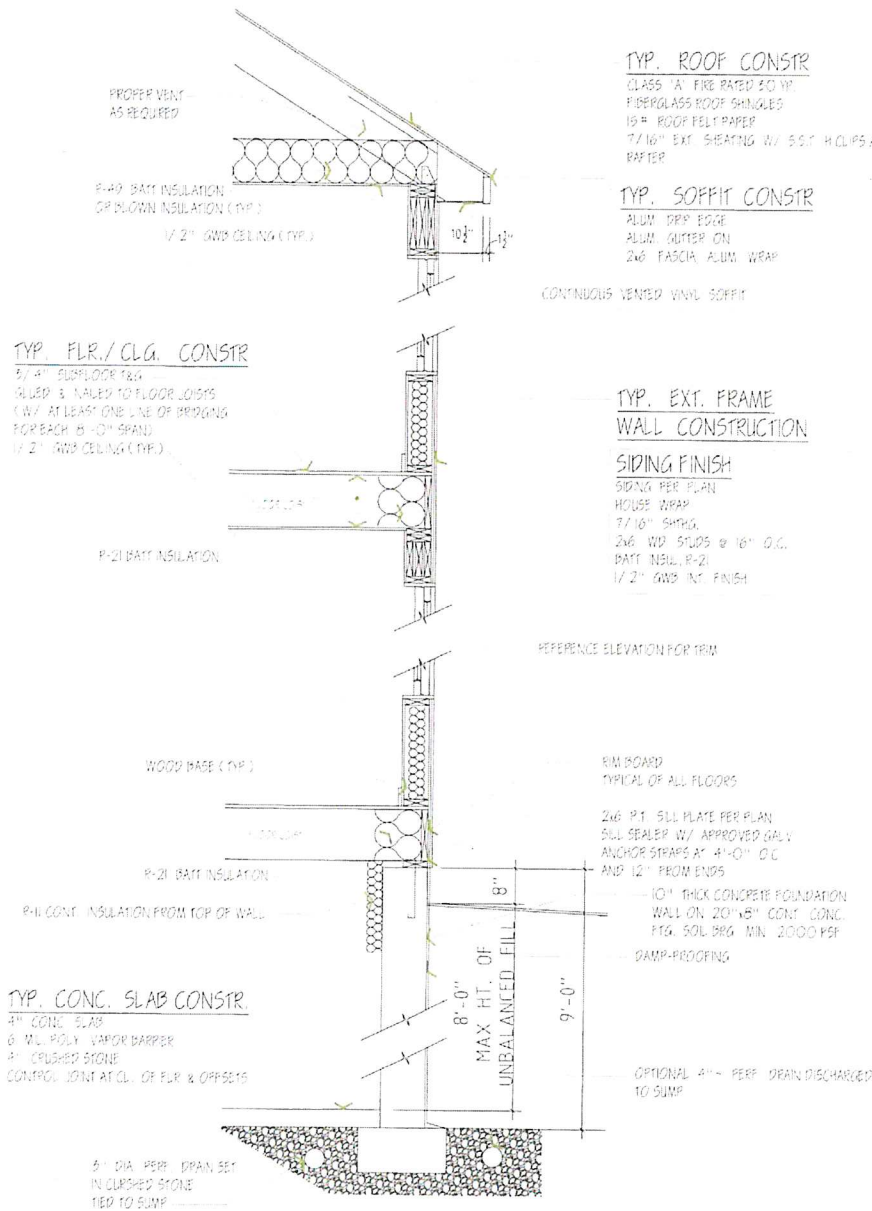
Eng. License No. 0000000000
 State of Pennsylvania
 License No. 0000000000



Prof. Plan
 Lot # 2 Big Oak Rd.
 Lower Makefield Twp. PA 19067
 TAX PARCEL #: 20-052-025-002

A-5c

TYPICAL WALL SECTION



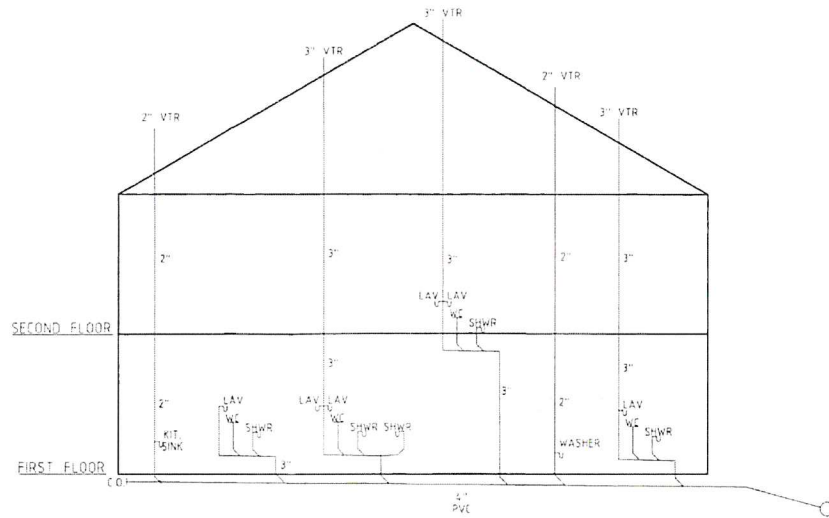
John F. [unreadable]
[unreadable]
[unreadable]



Section
Lot # 2 Big Oak Rd.
Lower Makefield Twp. PA 19067
PLAN PANEL # 20-C92-024-002

S-1

Jeff C...
 P.E.
 License No. 12345678
 State of Pennsylvania



PLUMBING LAYOUT

NO.	DATE	DESCRIPTION



Plumbing Layout
 Lot # 2 Big Oak Rd,
 Lower Makefield Twp, PA 19067
 TAX PARCEL #: 20-092-023-002

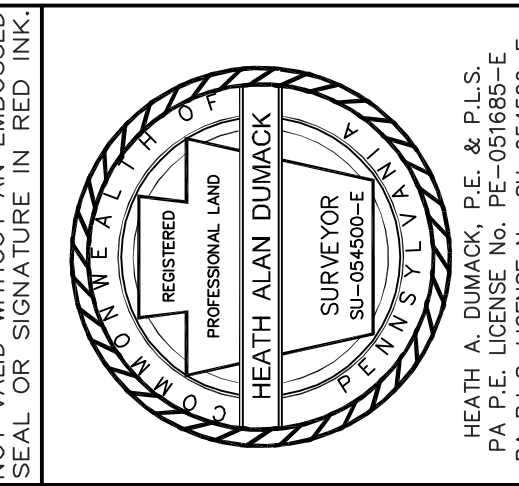
DATE	
BY	
CHECKED	
DATE	



GENERAL NOTES:

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES CONTAINED ON THESE PLANS HAVE BEEN OBTAINED BY FIELD SURVEY. COMPLETENESS OR ACCURACY OF THE LOCATION OF UTILITIES SURFACE AND SUBSURFACE, AND SHALL NOTIFY THE ENGINEER IN THE EVENT OF DISCREPANCIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UNDERGROUND UTILITY USERS FOR COMPLIANCE WITH PENNSYLVANIA ACT 2008-121.
2. A PORTION OF THE SITE IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN BOUNDARY AS IDENTIFIED ON FEMA MAP 42017C0451J, EFFECTIVE DATE MARCH 16, 2015. BASE FLOOD ELEVATION = 90.2-92.1
3. REFERENCE IS MADE TO A PLAN OF SURVEY PREPARED BY J.G. PARK ASSOCIATES, BEING DATED OCTOBER 4, 1951..
4. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
5. TOPOGRAPHY AND ELEVATIONS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), VIA RTK GPS.
6. THE FEMA FLOODPLAIN SHOWN IS MAPPED BASED ON ELEVATION, NOT A GRAPHICAL INTERPRETATION.

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 FAX: (215) 598-1232
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 www.Dumack.com

REV. No.	DATE	REVISION
1	SEPT. 6, 2023	PER TOWNSHIP ZONING OFFICER
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NATURAL RESOURCE CALCULATION TABLE:

NATURAL RESOURCE	% OF RESOURCE TO BE PROTECTED	% OF RESOURCE PERMITTED TO BE DISTURBED	TOTAL AREA OF NATURAL RESOURCE (AC.)	TOTAL AREA REQUIRED RESOURCE PROTECTION (AC.)	ACTUAL AREA OF RESOURCE PROTECTED (AC.)	ACTUAL AREA OF RESOURCE PROTECTED (%)	ACTUAL AREA OF RESOURCES DISTURBED (AC.)	ACTUAL AREA OF RESOURCE DISTURBED (%)
FLOODPLAINS	100%	0%	0.4076	0.4076	0.4076	100.0%	0.0000	0.0%
FLOODPLAIN SOILS	50%	50%	0.0000	0.0000	0.0000	0.0%	0.0000	0.0%
PONDS & POND SHORELINES (50 FT FROM MEAN WATER LEVEL)	100%	0%	0.0000	0.0000	0.0000	0.0%	0.0000	0.0%
WETLANDS, WATERS OF THE COMMONWEALTH	100%	0%	0.4225	0.4225	0.4225	100.0%	0.0000	0.0%
WETLAND WATERCOURSE BUFFER	100%	0%	0.4997	0.4997	0.4997	100.0%	0.0000	0.0%
STEP SLOPES (CLASS I)	50%	50%	0.2461	0.1231	0.1859	75.5%	0.0602	24.5%
STEP SLOPES (CLASS II)	70%	30%	0.1760	0.1232	0.1747	99.2%	0.0014	0.8%
STEP SLOPES (CLASS III)	100%	0%	0.0635	0.0635	0.0635	100.0%	0.0000	0.0%
WOODLANDS	75%	25%	1.1711	0.8783	1.0096	86.2%	0.1615	13.8%

*Natural resource chart treats each resource irrespective of other resources, the site capacity calculations utilize the resource with the highest protection ratio in the case of overlap

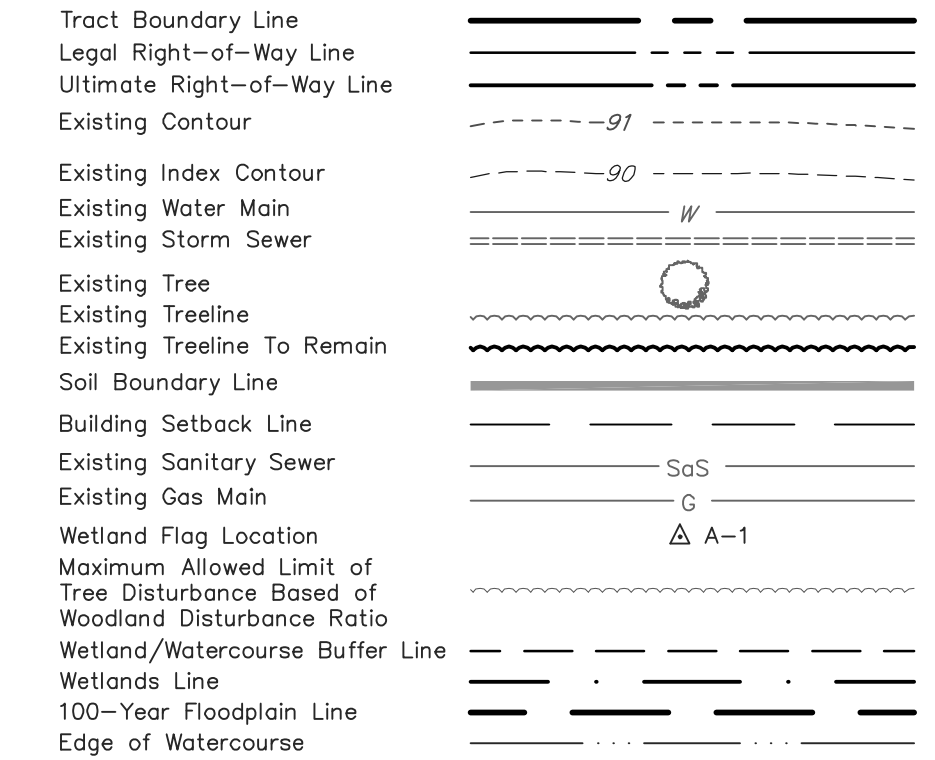
SOIL SYMBOLS/ SERIES	DEPTH TO THE TOP SEASONAL WATER TABLE	DEPTH TO RESTRICTIVE FEATURE	BUILDINGS WITHOUT BASEMENTS	BUILDINGS WITH BASEMENTS	SMALL COMMERCIAL BUILDINGS	LAND CAPABILITY	PRIME FARMLAND	HYDROLOGY CODE
B ₀ BOWMANVILLE-KNAUERS SILT LOAMS	0 TO 18 INCHES	72 TO 99 INCHES (LITHIC BEDROCK)	VERY LIMITED FLOODING, DEPTH TO SATURATED ZONE, PONDING	VERY LIMITED FLOODING, DEPTH TO SATURATED ZONE, PONDING	VERY LIMITED FLOODING, DEPTH TO SATURATED ZONE, PONDING	3w/4w	FARMLAND OF STATEWIDE IMPORTANCE	B
S _{1C} STEINBURG GRAVELLY LOAM 8 TO 15% SLOPES	>80 INCHES	20 TO 40 INCHES (LITHIC BEDROCK)	SOMEWHAT LIMITED SLOPE, DEPTH TO HARD BEDROCK	VERY LIMITED SLOPE, DEPTH TO SATURATED ZONE, DEPTH TO HARD BEDROCK	VERY LIMITED SLOPE, DEPTH TO SATURATED ZONE, DEPTH TO HARD BEDROCK	3e	FARMLAND OF STATEWIDE IMPORTANCE	--

Soil Survey Staff, Natural Resources Conservation Service, United States Department of Agriculture. Web Soil Survey. Available online at <http://websoilsurvey.nrcs.usda.gov/>. SITE ACCESSED ON FEBRUARY 23, 2023.

Steep Slope Legend

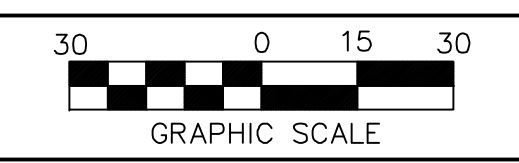


Legend



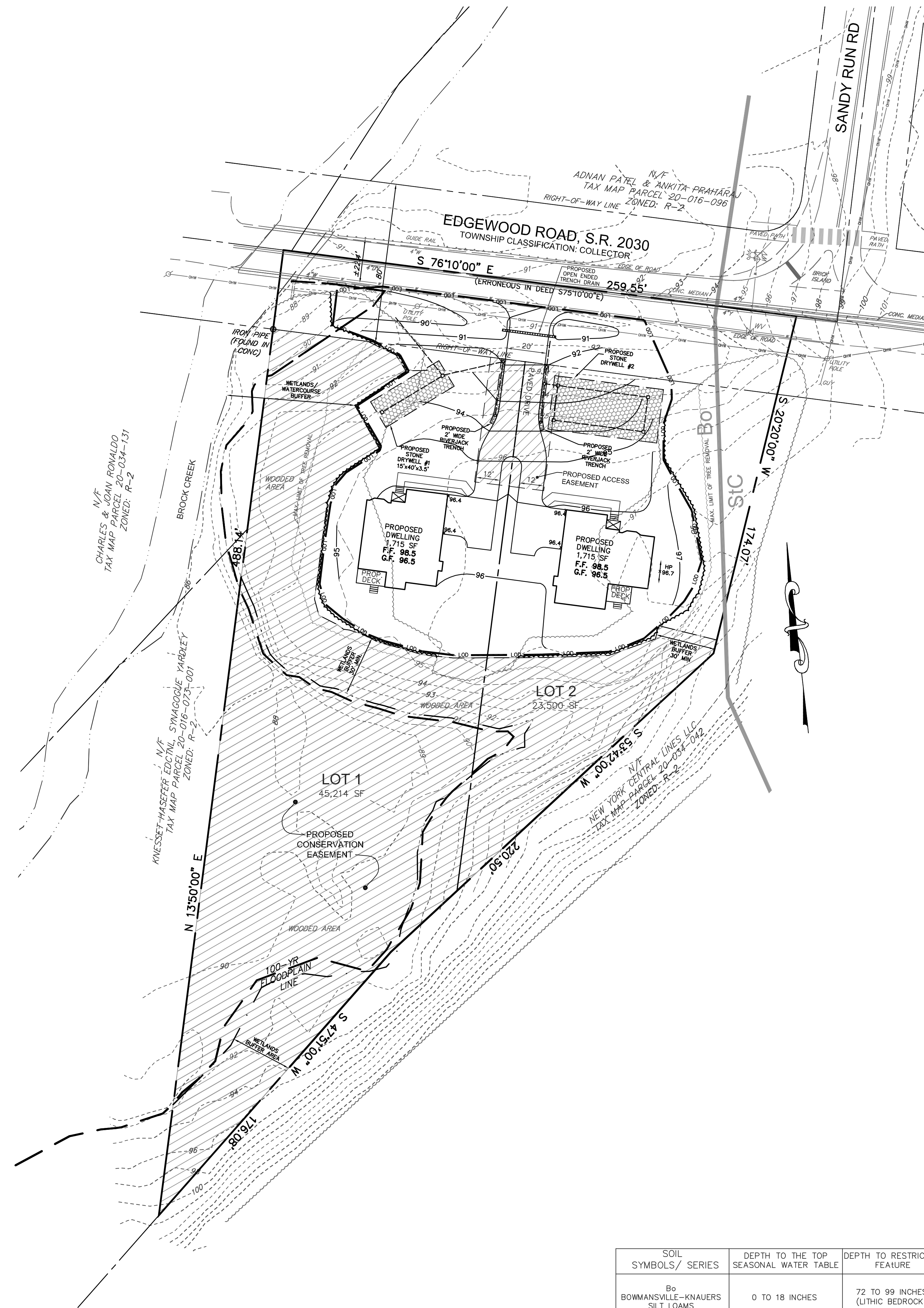
EXISTING PARCEL INFO:
 T.M.P. No. 20-034-130
 DEED BOOK: 1533 PAGE No. 1001
 CURRENT ZONING: R-2
OWNER of RECORD:
 CHARLES S & FRANCINE HARRIS
 855 SANDY RUN ROAD
 YARDLEY, PA 19067

APPLICANT:
 BRIAN BRZEZINSKI
 269 CANAL ROAD
 FAIRLESS HILLS, PA 19030



EXISTING FEATURES PLAN
EDGEWOOD ROAD
 LOWER MAKEFIELD TOWNSHIP
 BUCKS COUNTY, PA

DRAWN BY: HAD **CHECKED BY:**
SCALE: 1" = 30' **PROJECT No:** 7905
PLAN DATE: JUNE 30, 2023 **SHEET No:** 2 of 3



SUBSURFACE DRYWELL INSPECTION AND MAINTENANCE SCHEDULE

- INSPECTION, MAINTENANCE AND REPAIR OF THE UNDERGROUND STORMWATER MANAGEMENT SYSTEMS SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
- 100 PERCENT VEGETATIVE COVER BY HERBACEOUS SPECIES SHALL BE MAINTAINED THROUGHOUT ALL EMBANKMENTS AND LAWN AREAS WITH DIRECT DISCHARGE TO THE UNDERGROUND FACILITY. ANY AREA BECOMING VOID OF VEGETATION SHALL BE IMMEDIATELY CORRECTED BY REPLANTING OR OTHER ADEQUATE MEASURES NECESSARY TO PREVENT EROSION THAT MAY IMPROVE THE POROSITY OF THE SYSTEM. AT NO TIME SHALL MULCH BE USED ON SLOPES OF DIRECT DRAINAGE TO THE UNDERGROUND FACILITY.
- GRASS CLIPPINGS SHALL BE COLLECTED AND REMOVED TO PREVENT CLOGGING OF THE FACILITY. FALLEN LEAVES SHALL BE COLLECTED AND REMOVED FROM THE SITE A MINIMUM OF ONE (1) TIME PER WEEK DURING THE FALL SEASON. ROOF DRAINS AND DEBRIS TRAPS SHALL BE CHECKED FOR LEAF LITTER AND OTHER DEBRIS, WHICH MAY CLOG PERFORATED PIPES AND/OR STONE BEDS.
- INSPECT UNDERGROUND STORMWATER MANAGEMENT FACILITY AT LEAST FOUR TIMES A YEAR, AS WELL AS AFTER EVERY STORM EXCEEDING 1 INCH REMOVE CLEANOUT CAPS AND INSPECT FOR DEBRIS. REMOVE ACCUMULATED LEAVES, TWIGS, SEDIMENT AND OTHER DEBRIS AS REQUIRED TO KEEP THE ROOF DRAINAGE SYSTEM CLEAN. IF AFTER INSPECTION IT IS DETERMINED THAT SEDIMENT NEEDS TO BE REMOVED FROM THE SEEPAGE BED, INJECT SYSTEM WITH WATER, SUSPEND SILT AND PUMP CHAMBER.
- EVALUATE THE DRAIN-DOWN TIME OF THE FACILITY TO INSURE THE MAXIMUM TIME OF 72 HOURS IS NOT BEING EXCEEDED. IF DRAIN-DOWN TIMES ARE EXCEEDING THE MAXIMUM, DRAIN THE FACILITY BY PUMPING AND CLEANING OUT PERFORATED PIPE.
- THE PROPERTY OWNER SHALL SUBMIT AN ANNUAL REPORT TO THE TOWNSHIP DETAILING THE MAINTENANCE WORK, INCLUDING REPAIRS, IF ANY, THAT ARE CARRIED OUT DURING A GIVEN CALENDAR YEAR. SUCH REPORTS SHALL BE DUE ON OR ABOUT THE FIRST DAY OF MARCH OF THE FOLLOWING YEAR.

THE TOWNSHIP AND/OR ITS AGENTS RESERVES THE RIGHT AND PRIVILEGE TO ENTER UPON SUCH LANDS FROM TIME TO TIME FOR THE PURPOSE OF INSPECTION OF SAID UNDERGROUND STORMWATER MANAGEMENT FACILITY IN ORDER TO ENSURE THAT THE STRUCTURAL AND DESIGN INTEGRITY AND MAINTENANCE REQUIREMENTS ARE BEING MAINTAINED BY THE OWNERS.

DRAINAGE PLAN CERTIFICATION:

I, HEATH DUMACK, P.E., ON THIS DATE _____, HAVE REVIEWED AND HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE DELAWARE RIVER SOUTH WATERSHED ACT 167 STORMWATER MANAGEMENT ORDINANCE OR PLAN AND LOWER MAKEFIELD TOWNSHIP STORMWATER ORDINANCE.

SIGNATURE _____ DATE _____

OWNERS ACKNOWLEDGMENT:

I, _____ (LAND OWNER), HEREBY ACKNOWLEDGES THAT THE STORMWATER MANAGEMENT SYSTEM, INCLUDING ALL BMPs, ARE A PERMANENT FIXTURE THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY THE TOWNSHIP OF A REVISED PLAN, WHICH SHALL BE RECORDED WITH THE RECORD PLAN AND WHICH SHALL BE APPLICABLE TO ALL FUTURE LAND OWNERS.

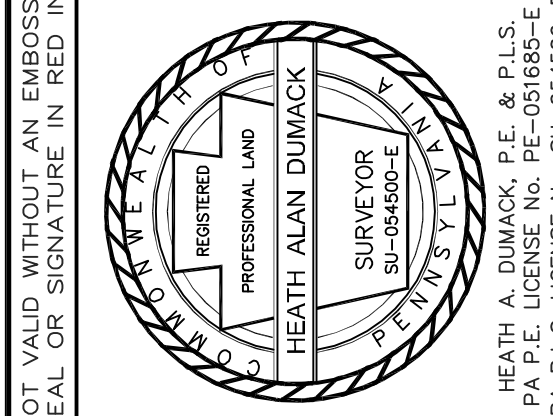
SIGNATURE _____ DATE _____

General Notes

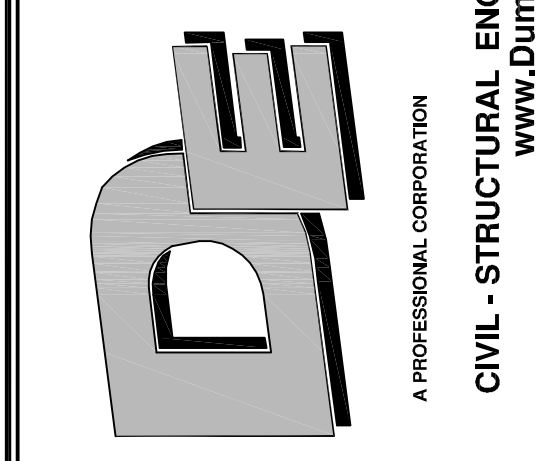
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES CONTAINED ON THESE PLANS HAVE BEEN OBTAINED BY FIELD SURVEY. COMPLETENESS OR ACCURACY OF THE LOCATION OF UTILITIES CANNOT BE GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, SURFACE AND SUBSURFACE, AND SHALL NOTIFY THE ENGINEER IN THE EVENT OF DISCREPANCIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UNDERGROUND UTILITY USERS FOR COMPLIANCE WITH PENNSYLVANIA ACT 2008-121.
- A PORTION OF THE SITE IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN BOUNDARY AS IDENTIFIED ON FEMA MAP 4201700451J, EFFECTIVE DATE MARCH 16, 2015. BASE FLOOD ELEVATION = 90.2-92.1
- TOPOGRAPHY AND ELEVATIONS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- ALL CONSTRUCTION, MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF BENSALEM TOWNSHIP AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA STANDARDS.
- ALL WORK AND MATERIALS SHALL BE INSPECTED BY THE TOWNSHIP ENGINEER AND/OR HIS APPROVED REPRESENTATIVES.
- ALL PROPOSED UTILITIES TO BE PLACED UNDERGROUND.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DISTANCES, GRADES, QUANTITIES, LINES AND ELEVATIONS AND NOTIFYING DUMACK ENGINEERING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH ANY WORK.
- ALL STRUCTURAL FILL IN THE BUILDING AREAS (MATERIAL UNDER CARTWAYS, SLABS, INLETS, ENDWALLS ETC.) SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY (ASTM D1557). ALL OTHER STRUCTURAL FILL SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY (ASTM D698).
- TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM ROOT COMPACTION, EQUIPMENT AND MATERIALS.
- ALL BUILDING MATERIAL AND WASTES MUST BE REMOVE FROM THE SITE AND RECYCLED OR RECYCLED IN ACCORDANCE WITH DEP'S SOLID WASTE REGULATIONS (25 PA CODE 260.1 ET. SEQ. 271.1 ET. SEQ. AND 287.1 ET. SEQ. AND/OR ANY ADDITIONAL LOCAL, STATE, OR FEDERAL REGULATIONS. NO BUILDING MATERIALS (USED OR UNUSED) OR WASTE MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ANTICIPATED CONSTRUCTION WASTE INCLUDES WOOD, EROSION CONTROL BMPs CONSTRUCTION FENCING, AND MISCELLANEOUS.
- NO KNOWN POTENTIAL POLLUTION PROBLEMS DUE TO GEOLOGIC CONDITION EXIST ON THIS SITE. WHERE POTENTIAL FOR POLLUTION IDENTIFIED, MEASURES ARE PROVIDED TO AVOID/MINIMIZE/ OR MITIGATE.
- THIS PLAN MINIMIZES IMPERVIOUS SURFACES.
- THIS PLAN MAXIMIZES THE PROTECTION OF DRAINAGE FEATURES AND EXISTING VEGETATION.
- THIS PLAN MINIMIZES LAND CLEARING AND GRADING.
- THIS PLAN MINIMIZES SOIL COMPACTION.
- THIS PLAN UTILIZES STRUCTURAL AND NON-STRUCTURAL BMPs THAT PREVENT OR MINIMIZE CHANGES IN STORMWATER RUNOFF.
- THIS PLAN IS CONSISTENT WITH THE DIMENSIONS AND ELEVATIONS USED IN SUPPORTING CALCULATIONS.
- THIS PLAN IS CONSISTENT WITH EROSION & SEDIMENT CONTROL PLAN IN RELATION TO PROPOSED CONTOURS, IMPROVEMENTS, SOILS, WETLANDS, FLOODWAYS, STREAMS, DISCHARGE LOCATIONS, ETC..
- THIS PLAN PRESERVES THE INTEGRITY OF STREAM CHANNELS AND MAINTAINS AND PROTECTS THE PHYSICAL, BIOLOGICAL AND CHEMICAL EQUALITIES OF THE RECEIVING STREAM.
- THE APPLICANT SHALL PROVIDE AS-BUILT PLANS FOR ALL SWM BMPs TO THE TOWNSHIP.
- THE SITE IS LOCATED WITHIN THE DELAWARE RIVER SOUTH WATERSHED DISTRICT. THE SITE DRAINS TO BROOK CREEK WITH A CHAPTER 93 EXISTING AND DESIGNATED USE OF COLD WATER FISHES (CWF) AND MIGRATORY FISHES (MF).

SERIAL No. 2023-1812903
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NOT VALID WITHOUT AN EMBOSSED SEAL OR SIGNATURE IN RED INK.
 INFORMATION SHOWN ON THIS PLAN IS THE RESULT OF A PROFESSIONAL SURVEY CONDUCTED BY HEATH A. DUMACK, P.E. AND IS TO BE USED FOR THE PURPOSES OF THE PROJECT ONLY. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, SURFACE AND SUBSURFACE, AND SHALL NOTIFY THE ENGINEER IN THE EVENT OF DISCREPANCIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UNDERGROUND UTILITY USERS FOR COMPLIANCE WITH PENNSYLVANIA ACT 2008-121.
 THIS PROJECT HAS BEEN PREPARED FOR MUNICIPAL PURPOSES. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND APPROVED REPRESENTATIVES BEFORE PROCEEDING WITH THE WORK.
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 ESTABLISHED IN 1984
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 P.O. BOX 487
 PENNS PARK, PA 18943
 PHONE: (215) 598-1230
 FAX: (215) 598-1232
 www.Dumack.com



REV. NO.	DATE	REVISION
1	SEPT. 6, 2023	PER TOWNSHIP ZONING OFFICER
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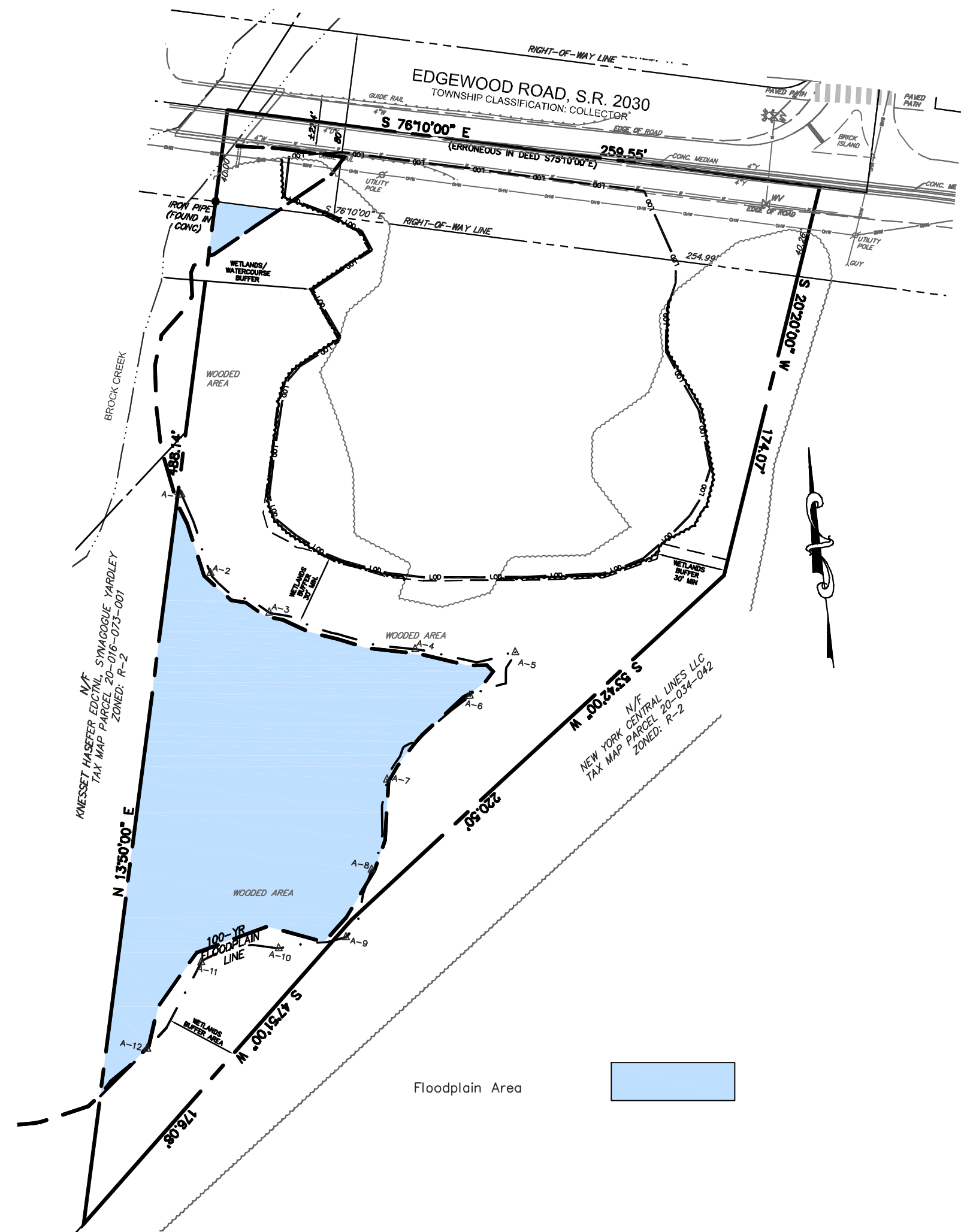
EXISTING PARCEL INFO:
 T.M.P. No. 20-034-130
 DEED BOOK: 1533 PAGE No. 1001
 CURRENT ZONING: R-2
OWNER OF RECORD:
 CHARLES S. & FRANCINE HARRIS
 855 SANDY RUN ROAD
 YARDLEY, PA 19067
APPLICANT:
 BRIAN BRZEZINSKI
 268 CANAL ROAD
 FAIRLESS HILLS, PA 19030

PRELIMINARY GRADING PLAN
EDGEWOOD ROAD
 LOWER MAKEFIELD TOWNSHIP
 BUCKS COUNTY, PA

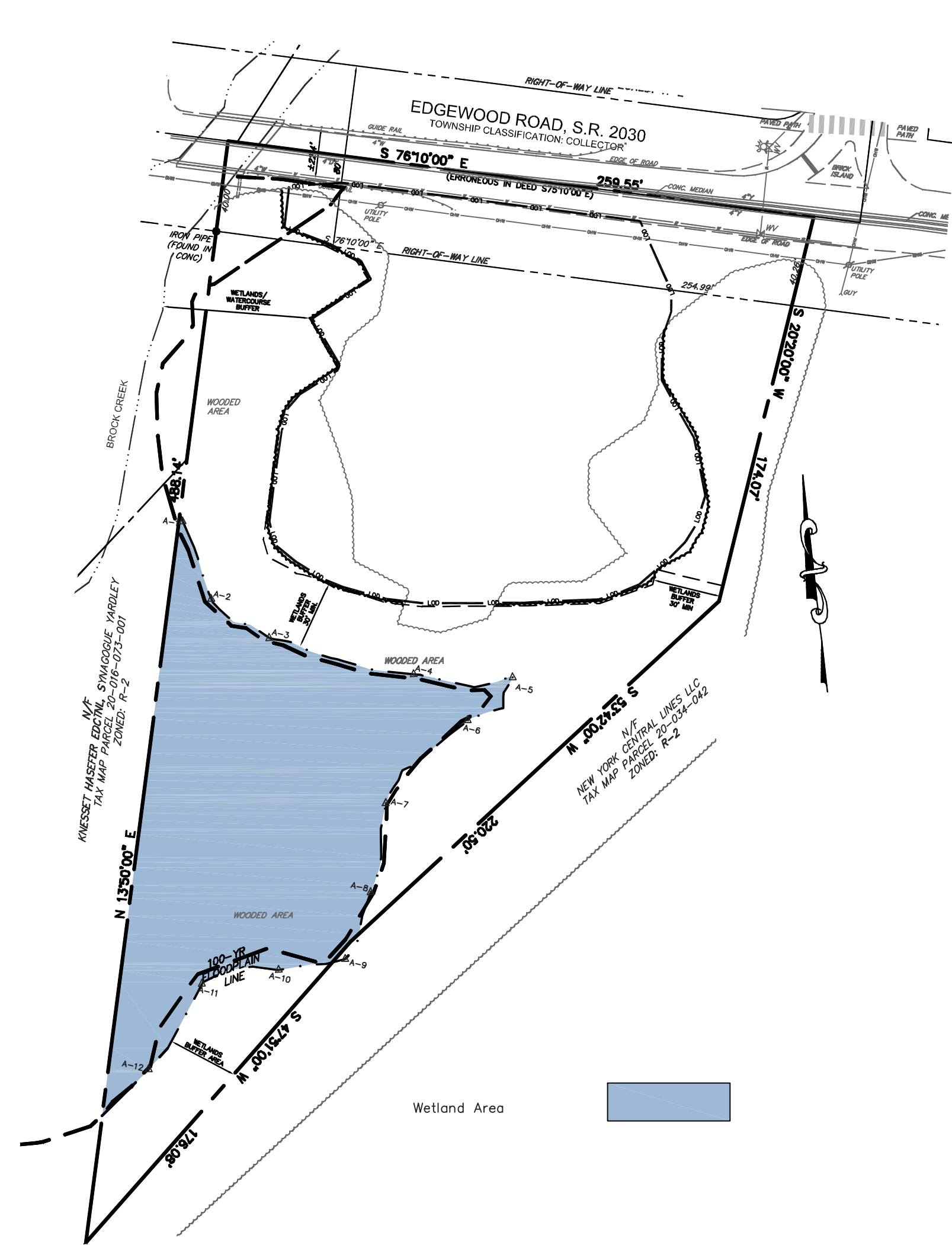
DRAWN BY: HAD
 CHECKED BY:
 SCALE: 1"=30'
 PROJECT No: 7905
 PLAN DATE: JUNE 30, 2023
 SHEET No. 3 of 3

SOIL SYMBOLS/ SERIES	DEPTH TO THE TOP SEASONAL WATER TABLE	DEPTH TO RESTRICTIVE FEATURE	BUILDINGS WITHOUT BASEMENTS	BUILDINGS WITH BASEMENTS	SMALL COMMERCIAL BUILDINGS	LAND CAPABILITY	PRIME FARMLAND	HYDROLOGY CODE
Bs BOWMANVILLE-KNAUERS SILT LOAMS	0 TO 18 INCHES	72 TO 99 INCHES (LITHIC BEDROCK)	VERY LIMITED FLOODING, DEPTH TO SATURATED ZONE, PONDING	VERY LIMITED FLOODING, DEPTH TO SATURATED ZONE, PONDING	VERY LIMITED FLOODING, DEPTH TO SATURATED ZONE, PONDING	3w/4w	FARMLAND OF STATEWIDE IMPORTANCE	B
S1c STEINBURG GRAVELLY LOAM 8 TO 15% SLOPES	>80 INCHES	20 TO 40 Inches (LITHIC BEDROCK)	SOMEWHAT LIMITED SLOPE, DEPTH TO HARD BEDROCK	VERY LIMITED SLOPE, DEPTH TO HARD BEDROCK	VERY LIMITED SLOPE, DEPTH TO HARD BEDROCK	3e	FARMLAND OF STATEWIDE IMPORTANCE	--

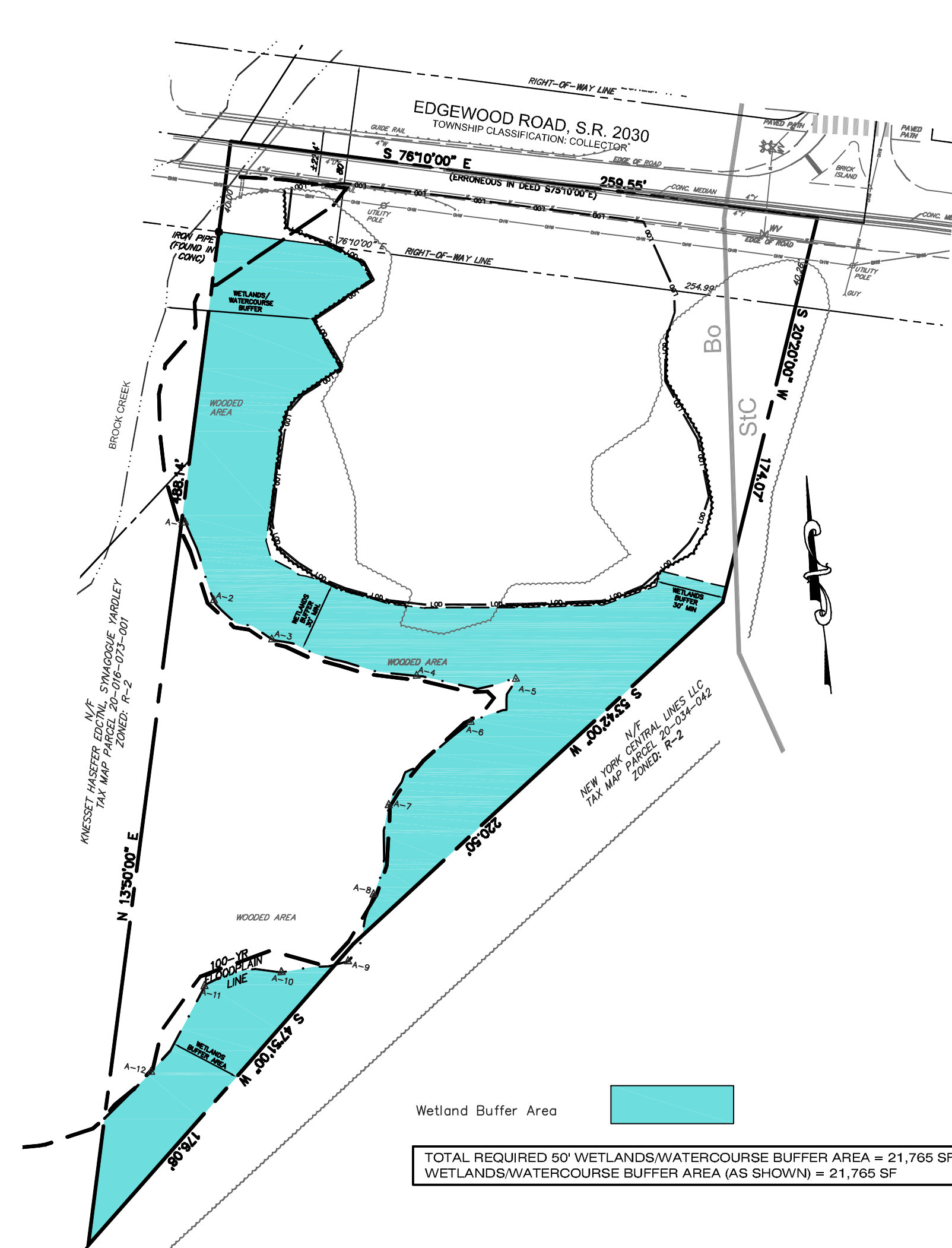
Soil Survey Staff, Natural Resources Conservation Service, United States Department of Agriculture. Web Soil Survey. Available online at <http://websoilsurvey.nrcs.usda.gov/>. SITE ACCESSED ON FEBRUARY 23, 2023.



FLOODPLAIN AREA

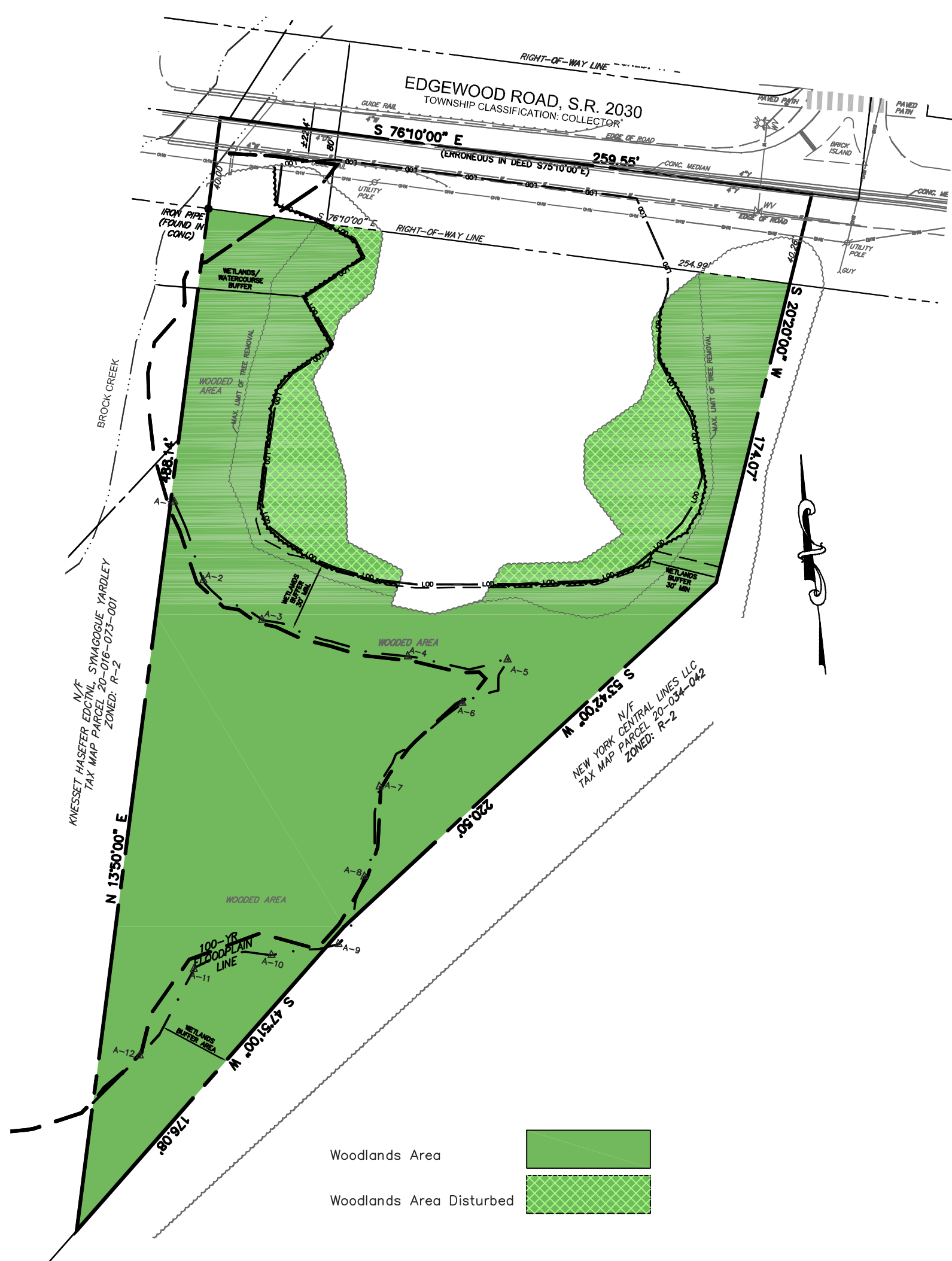


WETLAND AREA



WETLAND BUFFER AREA

TOTAL REQUIRED 50' WETLANDS/WATERCOURSE BUFFER AREA = 21,765 SF
 WETLANDS/WATERCOURSE BUFFER AREA (AS SHOWN) = 21,765 SF



WOODLANDS AREA



STEEP SLOPE AREAS

8-15% Steep Slopes
 15-25% Steep Slopes
 >25% Steep Slopes
 Steep Slope Areas Disturbed

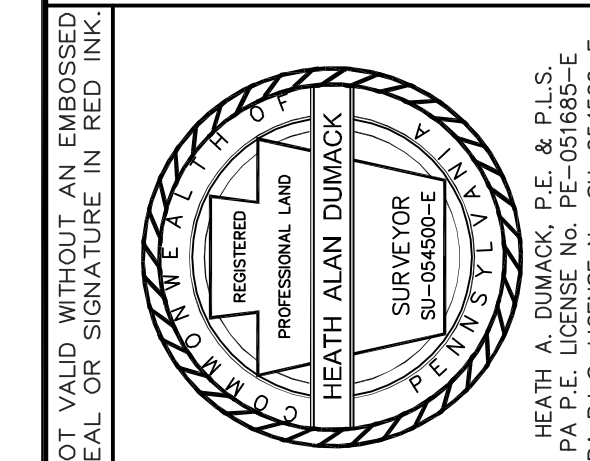
NATURAL RESOURCE CALCULATION TABLE:

NATURAL RESOURCE	% OF RESOURCE TO BE PROTECTED	% OF RESOURCE PERMITTED TO BE DISTURBED	TOTAL AREA OF NATURAL RESOURCE (AC)	TOTAL AREA REQUIRED RESOURCE PROTECTION (AC)	ACTUAL AREA OF RESOURCE PROTECTED (AC)	ACTUAL AREA OF RESOURCE PROTECTED (%)	ACTUAL AREA OF RESOURCES DISTURBED (AC)	ACTUAL AREA OF RESOURCE DISTURBED (%)
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FLOODPLAIN SOILS	50%	50%	0.0000	0.0000	0.0000	0.0%	0.0000	0.0%
PONDS & POND SHORELINES (50 FT FROM MEAN WATER LEVEL)	100%	0%	0.0000	0.0000	0.0000	0.0%	0.0000	0.0%
WETLANDS, WATERS OF THE COMMONWEALTH	100%	0%	0.4225	0.4225	0.4225	100.0%	0.0000	0.0%
WETLAND/WATERCOURSE BUFFER	100%	0%	0.4997	0.4997	0.4997	100.0%	0.0000	0.0%
STEEP SLOPES (CLASS I)	50%	50%	0.2461	0.1231	0.1859	75.5%	0.0602	24.5%
STEEP SLOPES (CLASS II)	70%	30%	0.1760	0.1232	0.1747	99.2%	0.0014	0.8%
STEEP SLOPES (CLASS III)	100%	0%	0.0635	0.0635	0.0635	100.0%	0.0000	0.0%
WOODLANDS	75%	25%	1.1711	0.8783	1.0096	86.2%	0.1615	13.8%

* Natural resource chart treats each resource irrespective of other resources, the site capacity calculations utilize the resource with the highest protection ratio in the case of overlap

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 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE-STOP CALL
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 1-800-242-1776

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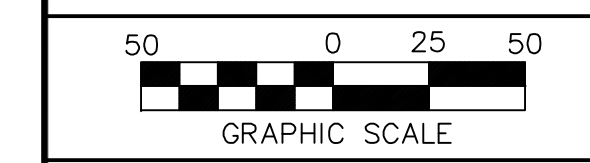


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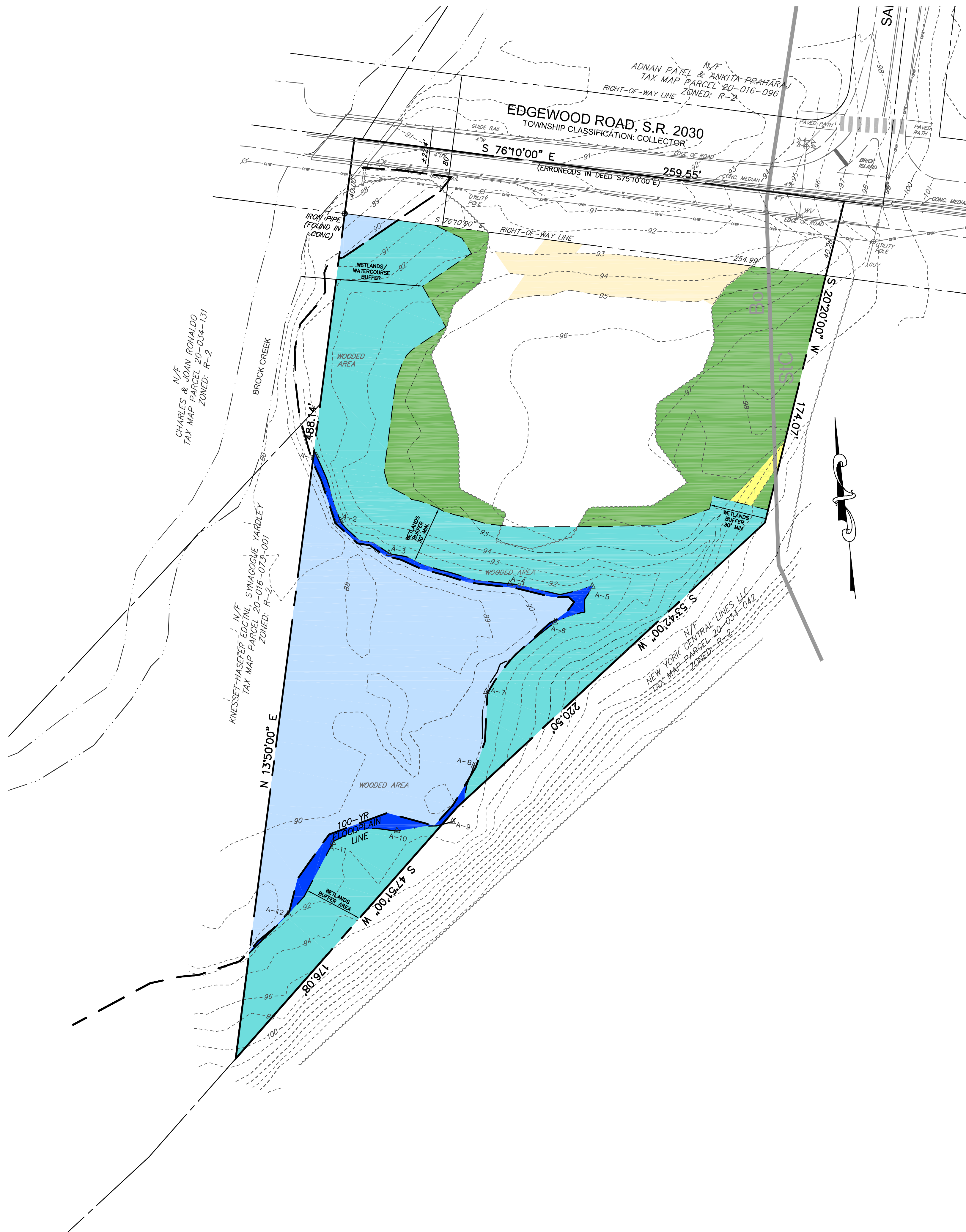
REV. NO.	DATE	REVISION
1	SEPT. 6, 2023	PER TOWNSHIP ZONING OFFICER
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EXISTING PARCEL INFO:
 T.M.P. No. 20-034-130
 DEED BOOK: 1533 PAGE No. 1001
 CURRENT ZONING: R-2
 OWNER OF RECORD:
 CHARLES S & FRANCINE HARRIS
 855 SANDY RUN ROAD
 YARDLEY, PA 19067

APPLICANT:
 BRIAN BRZEZINSKI
 265 CANAL ROAD
 FAIRLESS HILLS, PA 19030



NATURAL RESOURCE RENDERING
 EDGEWOOD ROAD
 LOWER MAKEFIELD TOWNSHIP
 BUCKS COUNTY, PA
 DRAWN BY: HAD
 CHECKED BY:
 SCALE: 1"=50'
 PROJECT No. 7905
 PLAN DATE: JUNE 30, 2023
 SHEET No. 1 of 1



SITE CAPACITY CALCULATION

FOR DETERMINING THE NET BUILDABLE SITE AREA, THE FOLLOWING FORM SHALL BE USED:
A. CALCULATION FOR BASE SITE AREA.
 (1). DETERMINE GROSS SITE AREA BY ACTUAL ON-SITE SURVEY: 1.814 AC
 (2). SUBTRACT THE FOLLOWING:
 (a). LAND WITHIN EXISTING ROADS AND THEIR ULTIMATE RIGHTS-OF-WAY AND UTILITY TRANSMISSION RIGHTS-OF-WAY : 0.236 AC
 (b). LAND WITHOUT DEVELOPMENT OPPORTUNITIES DUE TO RESTRICTIONS SUCH AS RESTRICTIVE COVENANTS AND CONSERVATION EASEMENTS. 0.00 AC
 (3). EQUALS BASE SITE AREA : 1.578 AC

B. CALCULATION FOR LAND WITH RESOURCE RESTRICTIONS AND RESOURCES PROTECTION.
 (1) DETERMINE LAND SUBJECT TO NATURAL RESOURCES. EACH SITE HAS UNIQUE NATURAL FEATURES. ALL APPLICATIONS SHALL INCLUDE MAPS SHOWING THE LOCATIONS OF THE RESOURCES TOGETHER WITH THE CALCULATIONS ON THE FOLLOWING CHART. **IN THE EVENT THAT TWO OR MORE RESOURCES OVERLAP, ONLY THE RESOURCE WITH THE HIGHEST PROTECTION RATIO SHALL BE USED:**

DATA MAPS	NATURAL RESOURCES	MINIMUM REQUIRED RESOURCE PROTECTION RATIO I	LAND IN NATURAL RESOURCES II (Ac.)	RESOURCE PROTECTION LAND (COLUMN I x COLUMN II)
HYDROLOGIC SURFACE FEATURES	FLOODPLAINS	1.00	0.407	0.407
	FLOODPLAIN SOILS	0.50	0.000	0.000
	LAKES OR PONDS	1.00	0.000	0.000
	LAKE AND POND SHORELINE	1.00	0.000	0.000
	WETLAND AND WATERCOURSE BUFFER*	1.00	0.489	0.489
SLOPES	CLASS I STEEP SLOPES (8% - 15%)	0.50	0.061	0.031
	CLASS II STEEP SLOPES (15% - 22%)	0.70	0.000	0.000
	CLASS III STEEP SLOPES (GREATER THAN 25%)	1.00	0.006	0.006
WOODLAND ASSOCIATIONS	WOODLANDS	0.75	0.249	0.187

TOTAL LAND WITH NATURAL RESOURCE RESTRICTIONS : 1.237 Ac.
 TOTAL NATURAL RESOURCE PROTECTION LAND : 1.145 Ac.

(2) DETERMINE PERCENTAGE OF BASE SITE AREA CLASSIFIED AS RESOURCE-PROTECTED LAND:
 TOTAL RESOURCE-PROTECTED LAND DIVIDED BY BASE SITE AREA = % OF BASE SITE AREA CLASSIFIED AS RESOURCE-PROTECTED LAND:

$$\frac{1.145 \text{ AC}}{1.578 \text{ AC}} = 72.56\%$$

RESOURCE PROTECTED AREA : 1.145 AC
 % OF BASE SITE AREA CLASSIFIED AS RESOURCE-PROTECTED LAND : 72.56%

C. DETERMINE SITE CAPACITY
 (1). FOR ALL RESIDENTIAL SUBDIVISIONS AND LAND DEVELOPMENTS THE FOLLOWING CALCULATIONS SHALL APPLY:

(a) SINGLE-FAMILY DETACHED DEVELOPMENTS AND TWO-FAMILY DEVELOPMENTS

[1] FIND NET BUILDABLE SITE AREA FOR SINGLE-FAMILY DETACHED AND TWO-FAMILY DEVELOPMENTS

BASE SITE AREA MINUS TOTAL RESOURCE PROTECTED LAND (DETERMINED IN STEP II) = NET BUILDABLE SITE AREA:

$$1.578 \text{ AC} - 1.145 \text{ AC} = 0.433 \text{ AC}$$

[2] FIND MAXIMUM NUMBER OF PERMITTED DWELLING UNITS FOR ALL SINGLE-FAMILY DETACHED AND TWO-FAMILY DEVELOPMENTS:

$$0.433 \text{ AC} \times 2.7 \text{ DU/AC} = 1.17 \text{ DU}$$

NET BUILDABLE SITE AREA : 0.433 AC
 MAXIMUM DENSITY : 2.7 DU/AC
 UNITS PERMITTED : 1.17

GENERAL NOTES:

- THE LOCATION OF EXISTING UNDERGROUND UTILITIES CONTAINED ON THESE PLANS HAVE BEEN OBTAINED BY FIELD SURVEY. COMPLETENESS OR ACCURACY OF THE LOCATION OF UTILITIES CANNOT BE GUARANTEED. THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, SURFACE AND SUBSURFACE, AND SHALL NOTIFY THE ENGINEER IN THE EVENT OF DISCREPANCIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY UNDERGROUND UTILITY USERS FOR COMPLIANCE WITH PENNSYLVANIA ACT 2008-121.
- A PORTION OF THE SITE IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN BOUNDARY AS IDENTIFIED ON FEMA MAP 42017C0451J, EFFECTIVE DATE MARCH 16, 2015. BASE FLOOD ELEVATION = 90.2-92.1
- REFERENCE IS MADE TO A PLAN OF SURVEY PREPARED BY J.G. PARK ASSOCIATES, BEING DATED OCTOBER 4, 1951..
- THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
- TOPOGRAPHY AND ELEVATIONS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), VIA RTK GPS.
- THE FEMA FLOODPLAIN SHOWN IS MAPPED BASED ON ELEVATION, NOT A GRAPHICAL INTERPETATION.

SERIAL No. 2023-1812903
CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL PENNSYLVANIA ONE CALL SYSTEM, INC.
 1-800-242-1776

NOT VALID WITHOUT AN EMBOSSED SEAL OR SIGNATURE IN RED INK.

HEATH A. DUMACK, P.E. & P.L.S.
 SURVEYOR
 30-04500-E
 PA P.E. LICENSE No. PE-05665-E
 PA P.L.S. LICENSE No. SU-054500-E

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30 0 15 30
 GRAPHIC SCALE

SITE CAPACITY RENDERING
EDGEWOOD ROAD

LOWER MAKEFIELD TOWNSHIP
 BUCKS COUNTY, PA

DRAWN BY: HAD
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 SCALE: 1" = 30'
 PROJECT No: 7905
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 SHEET No: 2 of 3